



**VILLAGE OF NORTH PALM BEACH
PLANNING COMMISSION
AGENDA**

TUESDAY July 5, 2022

**Obert room- NPB Library-303 Anchorage Dr
6:30 P.M.**

Cory Cross, Chair
Donald Solodar, Vice Chair
Thomas Hogarth, Member
Jonathan Haigh, Member
Kathryn DeWitt, Member
Scott Hicks, Member
Nathan Kennedy, Member

Alex Ahrenholz, AICP, Principal Planner
Len Rubin, Village Attorney

Meeting backup available for the current Planning Commission meeting at:
<http://fl-northpalmbeach.civicplus.com/DocumentCenter/Index/195>

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<http://www.npbweblink.com/WebLink/Browse.aspx?startid=147916&dbid=0>

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- +1 346 248 7799 US (Houston)
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- I. ROLL CALL**
- II. DECLARATION OF EX PARTE COMMUNICATIONS**
- III. QUASI JUDICIAL MATTERS / PUBLIC HEARING**

Village Attorney to swear in all persons speaking.

A. SITE PLAN AND APPEARANCE REVIEW

1. 600 US Highway 1 site improvements

Application by Wayne Richards on behalf of JS 600 US One, LLC for amendment to the building façade, signage, landscaping, and site plan with one waiver.

2. 202 US Highway 1

Application by Signarama NPB for the creation of a master sign program

3. 120 US Highway 1 site improvements

Application by Pure Nene, LLC for site and façade improvements to the existing retail building.

4. 531 US Highway 1 Addition

Application by 531 NPB Group, LLC for an extension to the existing retail store.

V. ADMINISTRATION MATTERS

- A. Staff Updates
- B. Commission Member Comments

VI. ADJOURNMENT

All members of the public are invited to appear at the public hearing, which may be continued from time to time, and be heard with respect to this matter.

If a person decides to appeal any decision made with respect to any matter considered at the subject meeting, he or she will need to ensure that a verbatim record of the proceedings is made, which shall include the testimony and evidence upon which the appeal is to be based (F.S. 286.0105). In accordance with the Americans with Disabilities Act, any person who may require special accommodation to participate in this meeting should contact the Village Clerk's Office at 841-3355 at least 72 hours prior to the meeting date.

This agenda represents the tentative agenda for the scheduled meeting of the Planning Commission. Due to the nature of governmental duties and responsibilities, the Planning Commission reserves the right to make additions to, or deletions from, the items contained in this agenda.



Village of North Palm Beach

Department of Community Development

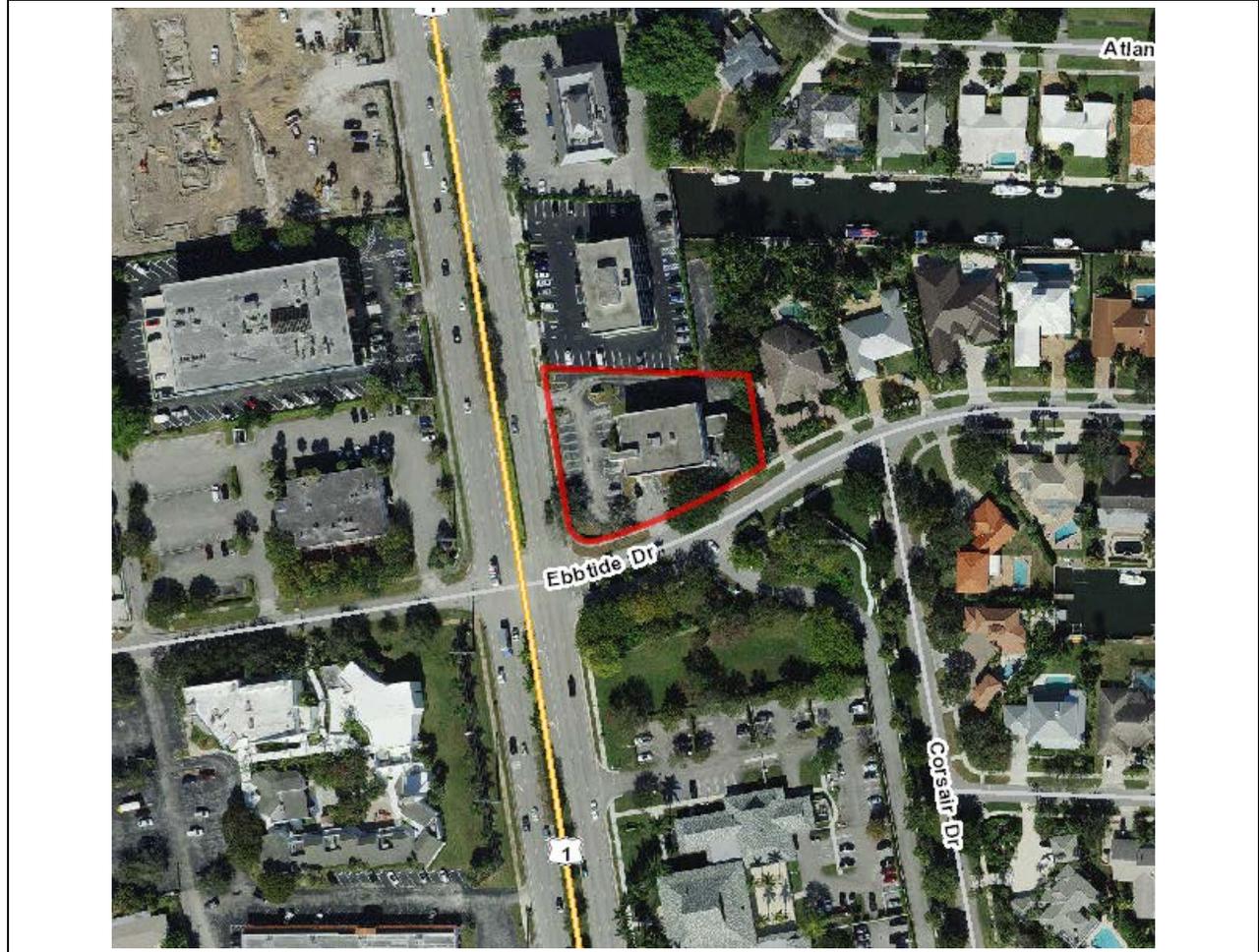
420 U.S. HIGHWAY ONE, SUITE 21 • NORTH PALM BEACH, FLORIDA 33408

561-882-1156 • FAX 561.841.8242 • WWW.VILLAGE-NPB.ORG

DATE: July 5, 2022
TO: Planning Commission
FROM: Alex Ahrenholz, AICP, Principal Planner
RE: 600 US Highway 1
July 5, 2022 Meeting
P&Z# 2022-1070

I. APPLICATION

Location:	600 US Highway 1, NW corner of intersection with Ebbtide Drive.
PCN:	68-43-42-16-00-003-0090
Request:	Application by Wayne Richards on behalf of JS 600 US One LLC for site improvements with one waiver.



II. UPDATE FROM JUNE MEETING

This application was presented to the planning commission on June 7th and was tabled for the following items to be provided:

- Handicap spaces shall be shown on site plan
- Update curbing next to the driveway on the south side
- Remove references to the monument sign from plans
- New landscape area at the east side (minimum 40%) of façade area and 1 shade tree or large palm per 75 linear feet.
- Replace the two royal palms with ligustrums at the front
- Add additional shade tree on the south side, east of the driveway entrance into the building.
- Details for the sun grill and the pergola on the roof
- Detail for the guardrail on top of the wall adjacent to walking areas.
- And make sure I have the latest elevations showing the parapet height and the signage colors updated.

The applicant has updated all affected plans with the information requested. On the landscape plan, a silver buttonwood was added on the south side of the building and the new landscape area includes a seagrape tree. Additional picture was included for the record to get a better understanding of the metal screening going on the outside of the second floor windows. The rooftop deck has also been amended with a six (6) inch aluminum rail around the parapet to meet the Florida building code minimum height of thirty-six (36) inches.

Additionally, the commission proposed to combine the two properties through a unity of title. This has been completed by the property owner in anticipation of that requirement so it shall no longer be needed as a condition of approval.

III. SUMMARY OF REQUEST

This building was previous the office for BBT bank. When the bank merged with Suntrust in 2020 to become Truist they consolidated into the old Suntrust building at the intersection of Lighthouse and US Highway 1. This building was then sold to the current property owner. An application has been submitted to keep the existing use, with minor site improvements including façade updates, new signage, closing in the drive through and creating a rooftop amenity deck. The overall site configuration, parking spaces, and office square footage is not being amended.

The façade is enhancing the mid-century modern style with a “sun grill” to the replace the existing one along the second story windows and metal panels on the elevator shaft along the front façade. The building will be painted with Sherwin Williams colors. “White Heron” will be on the second floor walls and the accents and trim will be a “Gray”. On the first floor, the main walls will be the gray color with the white used as the trim on the columns.

The rooftop terrace will be accessed through an extension of the existing elevator shaft, raising the overall height of the building from thirty-six (36) feet to forty-one (41) feet. The parapet wall along the eastern edge would remain at thirty-one (31) feet however, with only an aluminum pergola rising to thirty-six (36) feet. The adjacent residential home at 161 Ebbtide Drive has adequate vegetation coverage to block the sight of people on the roof and what may be visible is from the front yard. The rear yard to this home is completely covered with thick vegetation adjacent to the parking lot.

The proposed site plan encloses the drive through to provide two enclosed parking spaces for the owner in a garage bay. There are two driveways accessing the building for some show display vehicles to be placed in the center of the office spaces. Overall, parking will not be affected as the square footage of the use and total number of spaces is unchanged.

Signage requires a waiver for the height as specified below, but meets all other façade requirements. The monument sign is proposed to remain in its existing location with a new panel added to the existing cabinet.

Waiver request

The signage is proposed to be similar to what BBT utilized. A main, 122 square foot, sign is proposed along US Highway 1, which is seven (7) percent of the façade area. A twenty-nine (29) square foot sign is proposed along Ebbitide Drive, which is less than 50% of the main sign. Both signs are requested to be in the same location as the BBT signs, but those signs were not meeting the code requirement of maximum height. Section 6-115.C.2.a states “*maximum mounting height of a building wall sign shall be eighteen (18) feet, except that on a building of more than two (2) stories, a single building wall sign is allowed above eighteen (18) feet facing each public street frontage.*”

Code Section	Required	Provided	Waiver
6-115.C.2.a	Maximum mounting height of eighteen (18) feet	Mounting height of twenty-eight (28) feet, six (6) inches.	Ten (10) feet, six (6) inches

The current Future Land Use (FLU) and current Zoning designations for the property are summarized in the table below.

Future Land Use (FLU) Designation	Zoning Designation
Commercial	CMU- US 1 Mixed use

The following table summarizes the uses, FLU designations, and zoning districts of the surrounding properties:

	Existing Use	FLU	Zoning
North	Commercial	Commercial	CMU- US1 Mixed Use
East	Residential	Low Density	R1- Single Family
South	Police station	Public	Public
West	Commercial	Commercial	CMU- US1 Mixed Use

IV. APPEARANCE CODE – PLANNING COMMISSION ROLE & RESPONSIBILITIES

Sec. 6-36. - Powers and duties of planning commission concerning the appearance code.

The planning commission shall have the following powers and duties:

- (1) To hold public hearings on and make recommendations for amendments to the appearance plan.
- (2) To consult with and cooperate with other committees and village departments, and any other municipal or governmental bodies on matters affecting the appearance of the village.
- (3) To study exterior design drawings, landscape and site plans and materials for any proposed public buildings, public works or other public improvements and to make recommendations to the council or village manager as to the architectural or aesthetic aspects thereof.
- (4) To study and review preliminary and final plats and make recommendations to the village council.
- (5) To hold site plan and appearance review hearings, when required, and to issue or deny site plan and appearance approval for multiple-dwelling, commercial, mixed-use, and industrial buildings pursuant to the provisions of this division and the appearance plan in Appendix A of this code.

Sec. 6-58. - Action of planning commission.

Upon consideration of an application, the planning commission shall issue site plan and appearance approval upon a finding that the plan conforms to the village appearance plan and other applicable land development regulations. This approval may contain special conditions in response to unusual aspects of the application or to

ensure that the approval carries out Village policies and code without undue permitting delays. If the planning commission determines that these criteria are not met, the planning commission may provide such advice, counsel, suggestions and recommendations as it may deem necessary to guide the prospective applicant in the development of a plan which would comply with the requirements and purposes of the appearance plan and other village land development regulations.

Sec. 6-59. - Approval by planning commission.

No building or other permit, otherwise required under the ordinances of the village, shall be approved by the community development director except upon the granting of site plan and appearance approval by the planning commission, or on appeal, approval by the Village Council (see section 6-35). The foregoing requirements shall not preclude the issuance of permits without such approval if the community development director determine that any of the following apply: Permits for single-family dwellings, permits for a village-owned facility, no external architectural features as defined in section 6-31, and any deviation from valid site plan and appearance approval are minor and not substantial.

CODE OF ORDINANCES APPENDIX A, SECTION IV CRITERIA FOR APPEARANCE

The purpose of these criteria is to establish a checklist of those items which affect the physical aspect of the Village environment. Pertinent to appearance is the design of the site, building and structures, planting, signs, street hardware, and miscellaneous other objects which are observed by the public.

These criteria are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles which can result in creative solutions that will develop a satisfactory visual appearance within the Village

B RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA

1. Adjacent buildings of different architectural styles shall be made compatible by such means as screens, site breaks, and materials.
2. Attractive landscape transitions to adjoining properties are encouraged.
3. Harmony in texture, lines, and masses is required. Monotony shall be avoided.
4. Buildings shall have similar scale to those in the surrounding area except where redevelopment at higher intensities is anticipated in a particular zoning district

C LANDSCAPE AND SITE TREATMENT

Landscape elements included in these criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.

D BUILDING DESIGN

1. Specific architectural styles are not mandated or banned, but the village encourages new buildings to reflect or evolve the distinct local character exemplified by the North Palm Beach Country Club Clubhouse, Village Hall and the Public Safety Building. This character is derived from local and regional examples including Anglo-Caribbean architecture, Florida vernacular, and masonry modern.
2. Evaluation of appearance of a project shall be based on quality of its design and relationship to surroundings.
3. Buildings shall have good scale and be in harmonious conformance with permanent neighboring development.
4. Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - a. Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those which are architecturally harmonious,

used for all building walls and other exterior building components wholly or partly visible from public ways and adjoining properties.

- b. Inappropriate materials and methods, and those which will produce inconsistency with the structure of the building, shall be avoided.
 - c. Materials shall be of durable quality.
 - d. In any design in which the structural frame is exposed to view, the structural materials shall meet the other criteria for materials.
5. Building components—such as windows, doors, eaves, and parapets—shall have good proportions and relationship to one another.
 6. The village discourages walls without windows or with too few windows; all-glass walls; and facades without visual interest or with entrances that are concealed or absent.
 7. Colors shall be harmonious, with bright or brilliant colors used only for accent.
 8. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building, or they shall be located so as not to be visible from any public ways, including waterways, service alleys, and adjoining properties.
 9. Exterior lighting shall be part of the architectural concept. Fixtures, standards and all exposed accessories shall be harmonious with building design.
 10. Refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from public ways, including waterways, service alleys, and adjoining properties, using materials as stated in criteria for equipment screening.
 11. Monotony of design in single or multiple building projects shall be avoided. Variation of detail, form, and siting shall be used to provide visual interest. In multiple building projects, variable siting or individual buildings may be used to prevent a monotonous appearance.
 12. Inappropriate, incompatible, bizarre, and exotic designs shall be avoided.
 13. The provisions of the North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.

E SIGNS

1. Wall signs shall be part of the architectural concept. Size, color, lettering, location, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings. Signs shall have good proportions.
2. Ground signs shall be designed to be compatible with the architecture of the building. The same criteria applicable to wall signs shall apply to ground signs.
3. Identification signs of a prototype design shall conform to the criteria for building and ground signs.
4. Materials used in signs shall have good architectural character and be harmonious with building design and surrounding landscape.
5. Every sign shall have good scale in its design and in its visual relationship to buildings and surroundings.
6. Colors shall be used harmoniously and with restraint. Excessive brightness and brilliant colors shall be avoided. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged so that light source is shielded from view.
7. The sign provisions of the North Palm Beach Village Code shall be part of the criteria of this subsection.

F MISCELLANEOUS STRUCTURES AND STREET HARDWARE

1. Miscellaneous structures include any structures, other than buildings, visible to view from any public way or ways. Street hardware includes all objects not commonly referred to as structures and located in streets and public ways and outside of buildings. (See Section VIII, DEFINITIONS)

2. Miscellaneous structures and street hardware located on private property shall be designed to be part of the architectural concept of design and landscape. Materials shall be compatible with buildings, scale shall be good, colors shall be in harmony with buildings and surroundings, and proportions shall be attractive.
3. Miscellaneous structures and street hardware located in public ways and other public property shall be harmonious with design of adjacent buildings and other structures and Village landscape.
4. Lighting in connection with miscellaneous structures and street hardware shall meet the criteria applicable to site, landscape, buildings, and signs.
5. The provisions of the Village of North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.

G MAINTENANCE—PLANNING AND DESIGN FACTORS

1. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
2. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
3. Provision for washing and cleaning of buildings and structures, and control of dirt and refuse, shall be included in the design. Such configurations that tend to catch and accumulate debris, leaves, trash, dirt, and rubbish shall be avoided.

H FACTORS FOR EVALUATION

The following factors and characteristics relating to a development, and which affect appearance, will govern the Appearance Board's evaluation of a design submission after the Board has been advised by the Office of the Building Official that the plan conforms to Village ordinances:

LOGIC OF DESIGN

EXTERIOR SPACE UTILIZATION

ARCHITECTURAL CHARACTER

ATTRACTIVENESS

MATERIAL SELECTION

HARMONY AND COMPATIBILITY

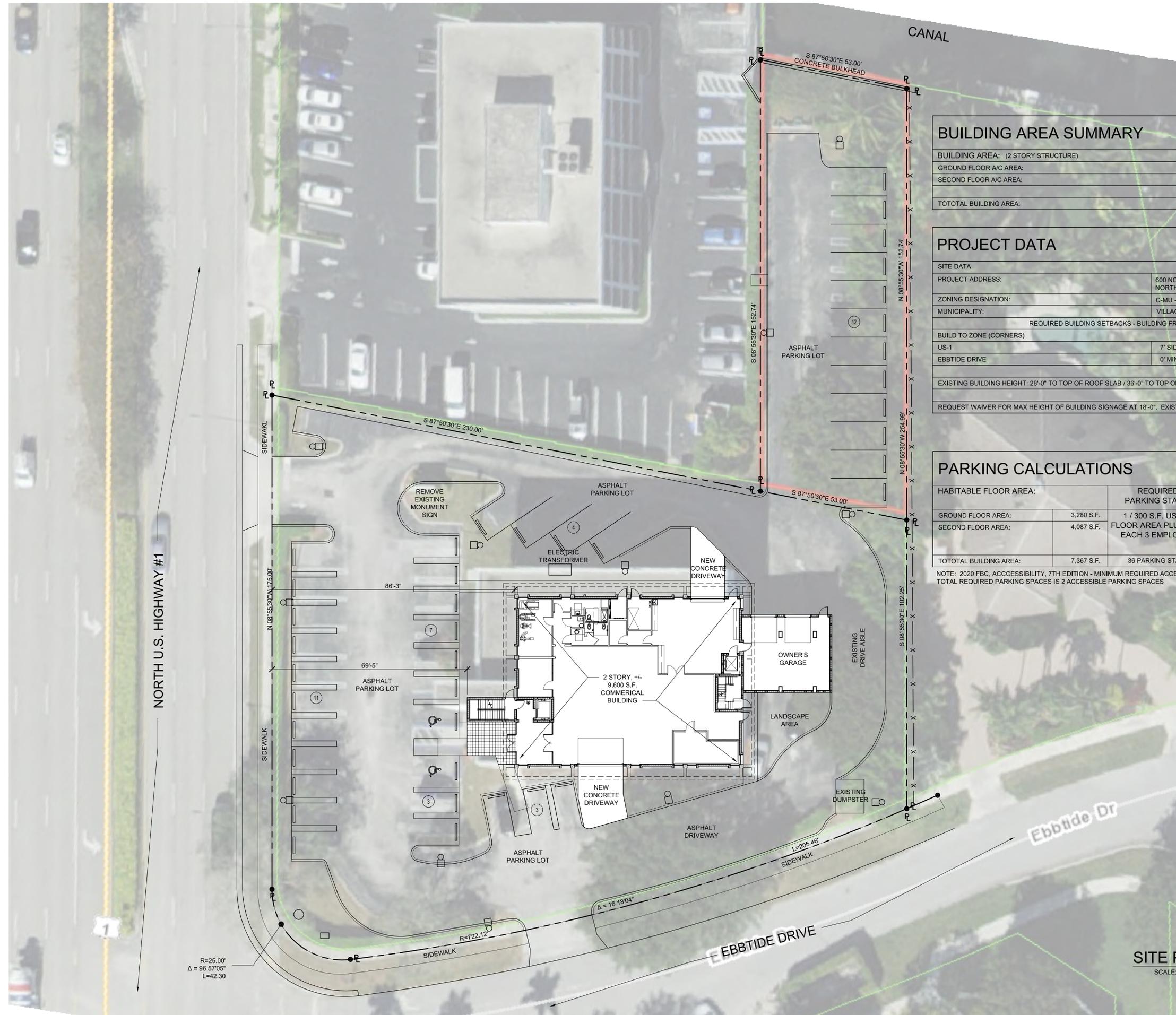
CIRCULATION—VEHICULAR AND PEDESTRIAN

MAINTENANCE ASPECTS

V. CONCLUSION & FINDING OF FACT

In Staff's analysis, the proposed application is consistent with the Village Master Plan, the Appearance Code, and other zoning requirements. Should the Planning Commission determine that the Applicant has met the prerequisites for granting approval, staff recommends the following condition:

1. No amplified music shall be permitted on the rooftop terrace.



BUILDING AREA SUMMARY

BUILDING AREA: (2 STORY STRUCTURE)	
GROUND FLOOR A/C AREA:	4,916 S.F.
SECOND FLOOR A/C AREA:	4,916 S.F.
TOTAL BUILDING AREA:	9,832 S.F.

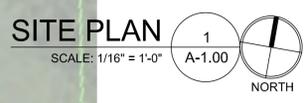
PROJECT DATA

SITE DATA	
PROJECT ADDRESS:	600 NORTH FEDERAL HIGHWAY NORTH PALM BEACH, FL 33408
ZONING DESIGNATION:	C-MU - US-1 MIXED USE DISTRICT
MUNICIPALITY:	VILLAGE OF NORTH PALM BEACH
REQUIRED BUILDING SETBACKS - BUILDING FRONTAGE: CANOPY	
BUILD TO ZONE (CORNERS)	
US-1	7' SIDEWALK EASEMENT REQUIRED
EBBTIDE DRIVE	0' MIN - 10' MAX.
EXISTING BUILDING HEIGHT: 28'-0" TO TOP OF ROOF SLAB / 36'-0" TO TOP OF PARAPET WALL (SEE SHEETS A-2.01 & A-2.02)	
REQUEST WAIVER FOR MAX HEIGHT OF BUILDING SIGNAGE AT 18'-0". EXISTING BUILDING SIGN IS LOCATED AT +/- 24'-0"	

PARKING CALCULATIONS

HABITABLE FLOOR AREA:		REQUIRED PARKING STALLS	PROVIDED PARKING STALLS
GROUND FLOOR AREA:	3,280 S.F.	1 / 300 S.F. USABLE FLOOR AREA PLUS 1 PER EACH 3 EMPLOYEES	40 PARKING STALLS
SECOND FLOOR AREA:	4,087 S.F.		
TOTAL BUILDING AREA:	7,367 S.F.	36 PARKING STALLS	40 PARKING STALLS

NOTE: 2020 FBC, ACCESSIBILITY, 7TH EDITION - MINIMUM REQUIRED ACCESSIBLE PARKING SPACES FOR UP TO 50 TOTAL REQUIRED PARKING SPACES IS 2 ACCESSIBLE PARKING SPACES



06.17.2022- SCHEMATIC DESIGN SET - NOT FOR CONSTRUCTION

Official Issues:

Issue Description	Date

Architect: **BRENT A. WOOD ARCHITECTURE LLC**
 BRENT A. WOOD, NCARB, AIA, LEED AP
 5650 CENTENNIAL CENTER BLVD., SUITE 400
 LAS VEGAS, NV 89149
 TEL: 702.220.1277 FAX: 702.419.5261

Client: **JOHNNY MANAGEMENT FL, INC**
 C/O JOHN STALLUPPI, JR.
 600 BUILDING US-1 RENOVATION
 600 N. FEDERAL HWY
 NORTH PALM BEACH, FLORIDA 33408

Project Name: **600 BUILDING US-1 RENOVATION**

Drawing Name: **SITE PLAN**

Sheet Number: **A-1.00**

Project Number: 220007
 Plot Date: 06-17-2022
 © 2022 Brent A. Wood

Plant List

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS
CANOPY / ORNAMENTAL TREES						
1	BS*	BURSERA SIMARUBA	GUMBO LIMBO	12' x 5', 2.5" CAL.	A.S.	FULL CANOPY, 5' C.T. MIN.
1	CS*	CONOCARPUS ERECTUS VAR. SERICEUS	SILVER BUTTWOOD	12' O.A./8' SPRD.	A.S.	FULL CANOPY, 3' C.T. MIN.
6	CU*	COCOLUBA UVIFERA	SEAGRAPE	8' x 6', 1" CAL.	A.S.	FULL CANOPY, 3' C.T. MIN.
1	CU-1*	COCOLUBA UVIFERA	SEAGRAPE	12' x 5', 2.5" CAL.	A.S.	FULL CANOPY, 3' C.T. MIN.
17	IE*	ILEX x. ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	12' x 5', 2.5" CAL.	A.S.	FULL CANOPY, 3' C.T. MIN.
2	LJ	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE FORM	12' O.A./8' SPRD.	A.S.	FULL CANOPY, 3' C.T. MIN.
PALMS						
3	RE*	ROYSTONIA ELATA	ROYAL PALM	12' C.T.	A.S.	FULL CANOPY, SYMMETRICAL, THICK STRAIGHT TRUNKS, MATCHED
LARGE SHRUBS / ACCENTS						
140	CHI*	CHRYSOBALANUS ICACO	COCOPALM	#3, 2' x 2'	2.5' O.C.	FULL & THICK
4	TG	TIBOUCHINA GRANULOS	TIBOUCHINA STANDARD	#35, 6' x 4'	A.S.	FULL, SPECIMEN
MED. SHRUBS / GROUNDCOVERS / VINES						
139	BOD	BOUGAINVILLEA 'DWARF HELEN JOHNSON'	DWARF HELEN JOHNSON BOUGAINVILLEA	#3, 12" x 12"	24" O.C.	FULL & THICK
49	FGI	FICUS MICROCARPA 'GREEN ISLAND'	FICUS GREEN ISLAND	#3, 12" x 12"	24" O.C.	FULL & THICK
249	ILV*	ILEX VOMITORIA	DWARF YAUPON HOLLY	#1, 12" x 12"	24" O.C.	FULL & THICK
355	NEB*	NEPHROLEPIS EXALTATA	BOSTON FERN	#1, 12" x 12"	24" O.C.	FULL & THICK
	SOD	STENOTAPHRUM SECUNDATUS	ST. AUGUSTINE SOD			SEE SPECIFICATIONS

* = Florida Native

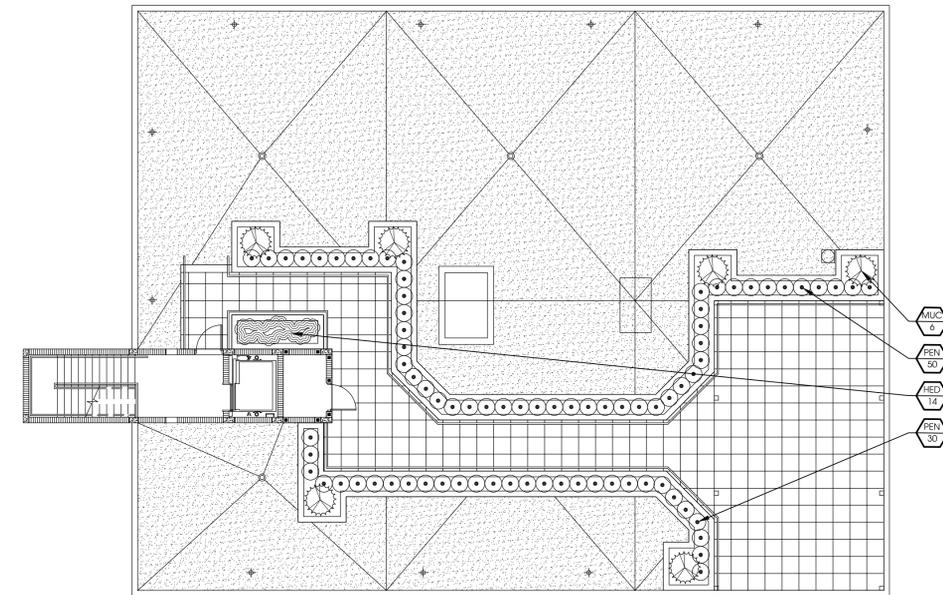
Landscape Data

45-90 Perimeter Landscape Requirements Adjacent To Road Rights-of-way (423)	Native Requirements (50% Minimum)
Trees Required - 1 Tree/30 I.F. = 423 / 30 = 14 Provided - 14 Trees 4 Existing + 10 Planted = 14	Planted Large Canopy / Shade Trees Total = 24 Trees Native = 24 Trees - 100%
Shrubs Require - Continuous Hedge = 423 / 2 = 212 Shrubs Provided - Existing Hedges	Planted Palm Trees Total = 5 Trees Native = 5 Trees - 100%
45-89.A. Off Street Parking Requirements (308)	Planted Shrubs Total = 932 Native = 744 / 932 - 79%
Trees Required - 1 Tree/30 I.F. = 308 / 30 = 10 Provided - 10 Trees 3 Existing + 7 Planted = 10	45-87.C. Tree Species Mix 31-40 Trees = 5 Species Provided = 5 Species 2 Existing + 3 Planted = 5
Shrubs Required - Continuous Hedge = 308 / 2 = 154 Shrubs Provided - Existing Shrubs + 100 Planted	45-91. Foundation Plantings (375)
45-89.C.2. Terminal Islands	Trees Required = 5 Provided = 5
Total Islands = 8	Shrubs Required = 900 Provided = 900
Trees Required - (1 Tree/Island) = 8 Trees Provided - 8 Trees	

Landscape Point System Table

45-87.D.2. (A total of 100 pts. are required)

1. Specimen Tree over 11" D.B.H. preserved	25 pts.	
(7) Trees preserved		175 pts.
2. Specimen Palms Planted	25 pts.	
(5) Palms planted		125 pts.
Total Provided Points		300 pts.



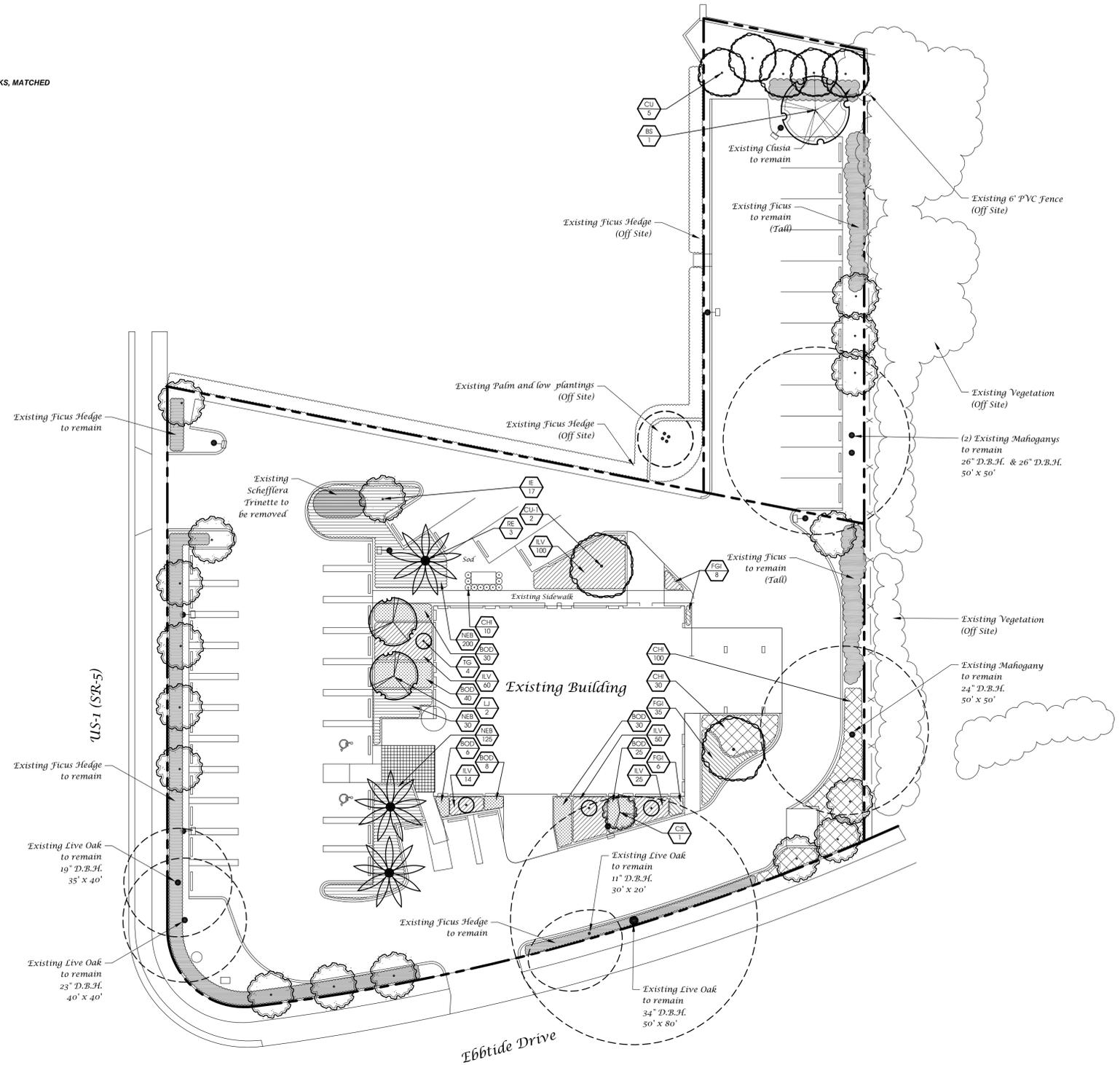
Plant List

QTY	SYM	SPECIES	COMMON NAME/DESCRIPTION	SIZE	SPACING	REMARKS
SMALL SHRUBS / GROUNDCOVERS						
14	HED*	HELIANTHUS DEBILIS	BEACH SUNFLOWER	#1, 12" x 12"	24" O.C.	FULL & THICK
6	MUC*	MUHLENBERGIA CAPILARIS	MULY GRASS	#3, 18" x 18"	A.S.	FULL & THICK
80	PEN	PENTAS LANCEOLATA	PENTAS	#1, 12" x 12"	24" O.C.	FULL & THICK, PENTAS - WHITE, RED, PINK & PURPLE

* = Florida Native

Rooftop Courtyard

Scale: 1" = 10'



Landscape Plan



North
Scale: 1" = 20'



Conceptual Design Group, Inc.

Landscape Architecture - Site Planning

900 East Ocean Boulevard, Suite 130d
Stuart, Florida 34994
(772) 344-2340
LA: 0001635

600 Building US-1 Renovation

600 U.S. Highway 1
North Palm Beach, Florida 33408

Village of North Palm Beach
Project Number:

Jeffrey W. Smith, RLA
Florida Registration Number:
LA 0001635

Job No.	22-0401
Drawn By	JWS
Submittal Dates	5-25-2022 6-7-2022 6-15-2022

Revision Dates	
Add 2 LJ for 2 RE	6-7-2022
Comments #1	6-15-2022

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.

L-1 of 3
Sheet

600 Building US-1 Renovation

600 U.S. Highway 1
 North Palm Beach, Florida 33408

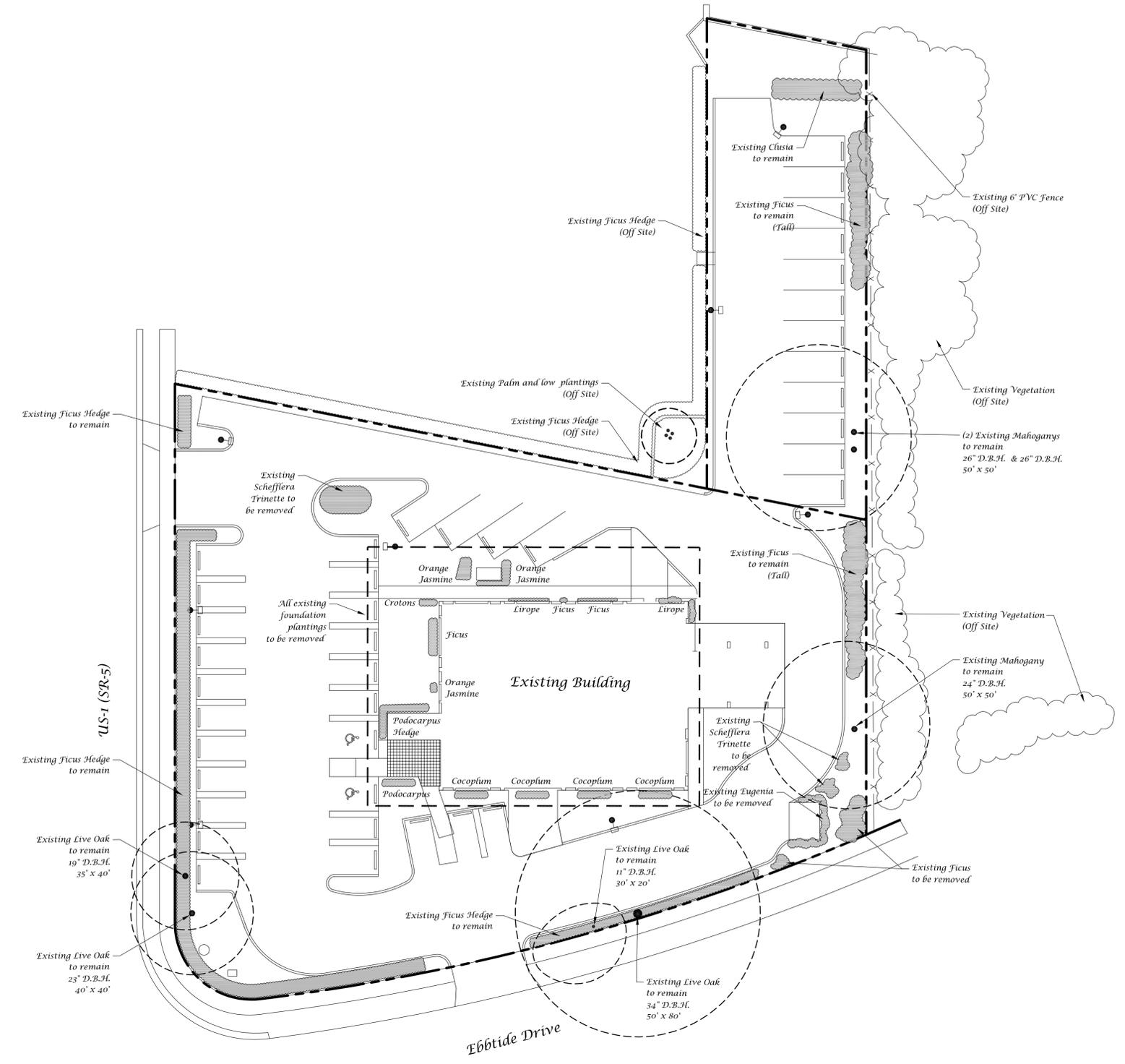
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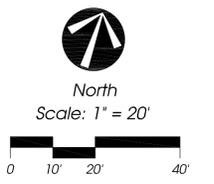
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Add 2 LJ for 2 RE	6-7-2022
Comments #1	6-15-2022

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Landscape Plan

Vegetation To Remain & Be Removed



Landscape Specifications

- All tree and plant material to be Florida No. 1 or better, as classified in "Grades and Standards for Nursery Plants", Part 1 and Part II, State of Florida, Dept. of Agriculture, Tallahassee. All plants not listed in "Grades and Standards for Nursery Plants" shall conform to a Florida No. 1 as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species.
- Understanding or substitution of one species or cultivar for another species is a breach of contract and will be "Rejected" at the time of final landscape inspection unless approved by Landscape Architect.
- Project Warranty: All plant material shall be warranted for a period of one (1) year after date of substantial completion against defects, including death and unsatisfactory growth, except for defects resulting from abuse or damage by others or unusual phenomena or incidents which are beyond the contractor's control.
- Any and all conditions which the contractor feels will be detrimental to the success of the planting shall be brought to the owner or representative's attention.
- The contractor shall verify the location of underground utilities prior to commencing work on any project area.
- Mulch planting areas with 3" layer of Melaleuca, Eucalyptus, or EnviroMulch. Cypress Mulch is NOT ACCEPTABLE. Planting beds to receive mulch throughout entire bed area.
- All plants to be set to ultimate grade. No filling will be permitted around trunks or stems. Mulch to be kept a minimum of 2" away from trunks and stems.
- Planting trees and shrubs: Excavate hole per planting detail. When plant is set, place additional backfill consisting of a 50% mixture of Peat humus and natural soil around the base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Water again after placing final layer of backfill and before installing mulch.
- Guy and stake trees in 3 directions with galvanized wire, through flexible hose chafing guards, with wooden stake anchors. Immediately after planting. (See Detail)
- Trees and shrubs shall be fertilized with a complete natural organic fertilizer with a ratio of approximately 3:1:2 or 3:1:3 (e.g. one labeled 12-4-8). Similar analysis such as 16-4-8 (4:1:2) can also be used. Fertilizers that are slow release, controlled release, sulphur coated or with nitrogen as IBDU or ureaformaldehyde have extended release period. Thirty to fifty percent of the nitrogen should be water insoluble or slow release.

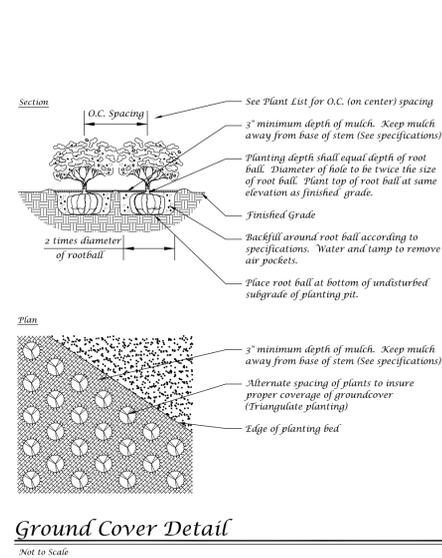
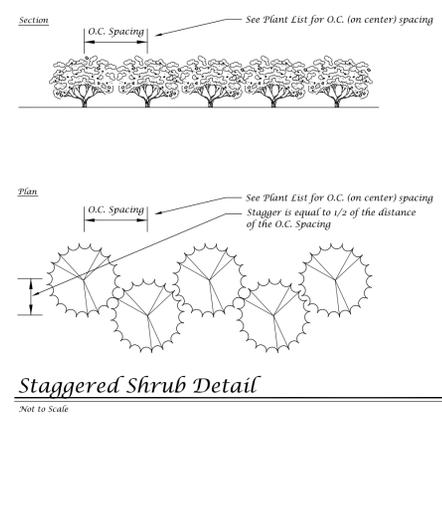
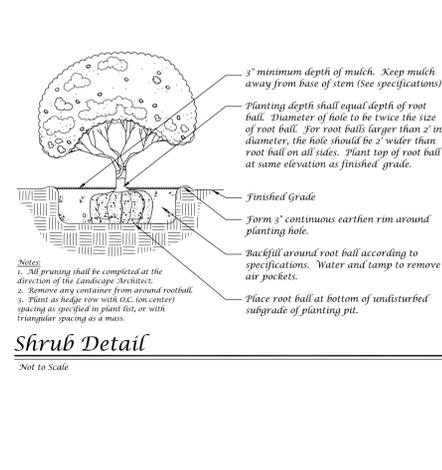
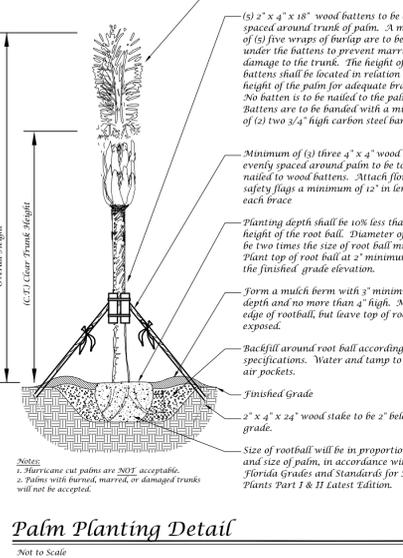
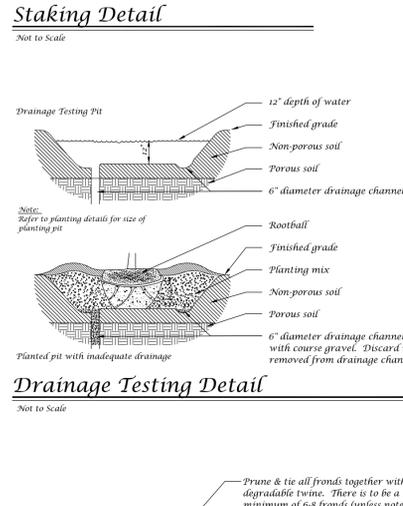
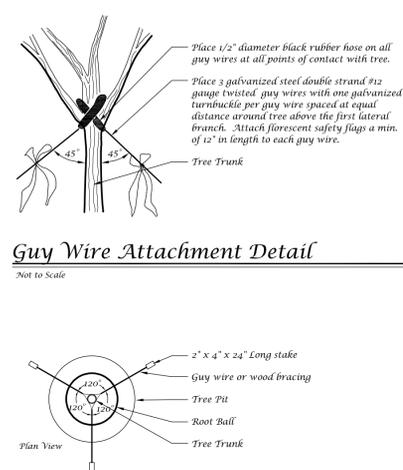
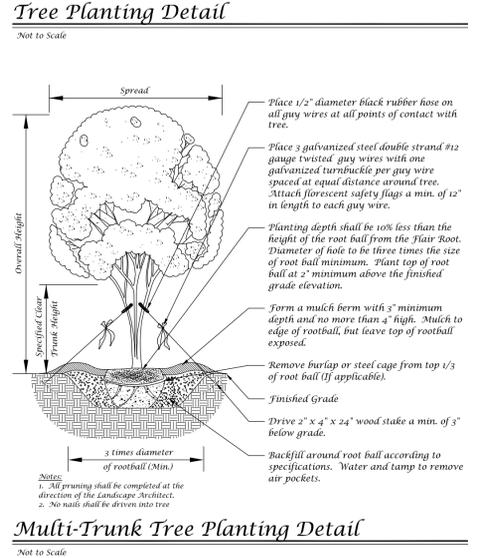
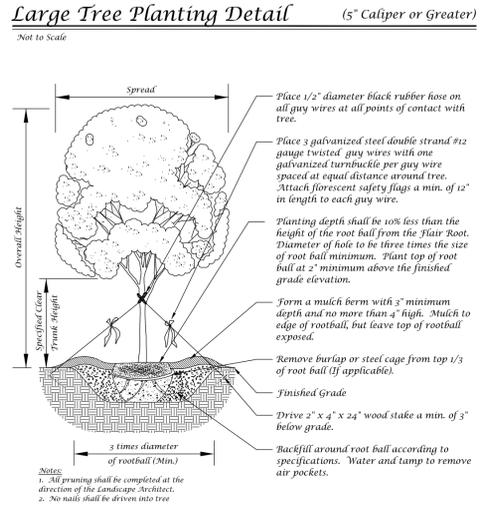
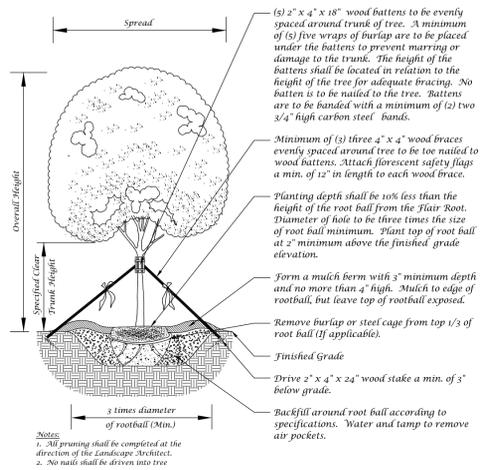
Palms should receive a complete granular fertilizer formulated for palms ("Palm Special") at a rate of 5 to 8 lbs. per palm.

Agriflora 20-10-5 twenty-one gram planting tablets may be substituted for granular fertilizer. If utilized, the following rates shall be utilized: Position plant in hole. Backfill halfway up the rootball. Place tablet(s) beside rootball about 1" from root tips. Do not place tablet(s) in bottom of hole.

- 1 Gallon 1 Tablet
- 3 Gallon 2 Tablets
- 25 Gallon & B&B Trees 2 per 1" caliper

- Maintain trees, shrubs, and other plants by watering, cultivating, and weeding as required for healthy growth. Restore planting saucers and mulch. Tighten and repair stake and guying and reset trees and shrubs to proper grade or vertical position as required. Spray as necessary to keep trees and shrubs free of insects and disease. The contractor shall begin maintenance immediately after planting and shall continue maintenance through final acceptance when Certificate of Occupancy is issued to the General Contractor by the Village of North Palm Beach and project is released by the General Contractor to Client.
- Prune trees and shrubs only to remove damaged branches.
- Planting Lawns: Provide clean, strongly rooted, uniformly sized strips of Stenotaphrum secundatum - St. Augustine "Floritan" sod (unless otherwise noted in Plant List), machine stripped not more than 24 hours prior to laying. Grade and roll prepared lawn surface. Water thoroughly but not to create muddy soil conditions. Lay sod strips with tight joints, roll or tamp lightly, and water thoroughly.
- Maintain positive drainage, no planting is to block drainage.
- Drainage Testing
 - Prior to planting of trees, palms, and specimen material, each planting pit shall be tested in the following manner to verify adequate drainage.
 - Dig each planting pit to the minimum specified size.
 - Fill the planting pit with (12") twelve inches of water. If the water level in the planting pit drops (4") four or more inches within (4) four hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than (4") four inches within the (4) four hour period, then a drainage channel is required.
 - When a drainage channel is required, the drainage channel must extend down through the non porous soil and into porous soil. (See Drainage Testing Detail)
 - Discard all material removed from the drainage channel.
 - When backfilling the planting pit, add coarse gravel to the drainage channel. Also, care must be taken to keep the consistency of the soil mix the same throughout the planting pit.

Landscape Details



Conceptual Design Group, Inc.
Landscape Architecture - Site Planning
900 East Ocean Boulevard, Suite 1304
Stuart, Florida 34994
(772) 341-2340
LA-0001635

600 Building US-1 Renovation

600 U.S. Highway 1
North Palm Beach, Florida 33408

Village of North Palm Beach
Project Number:

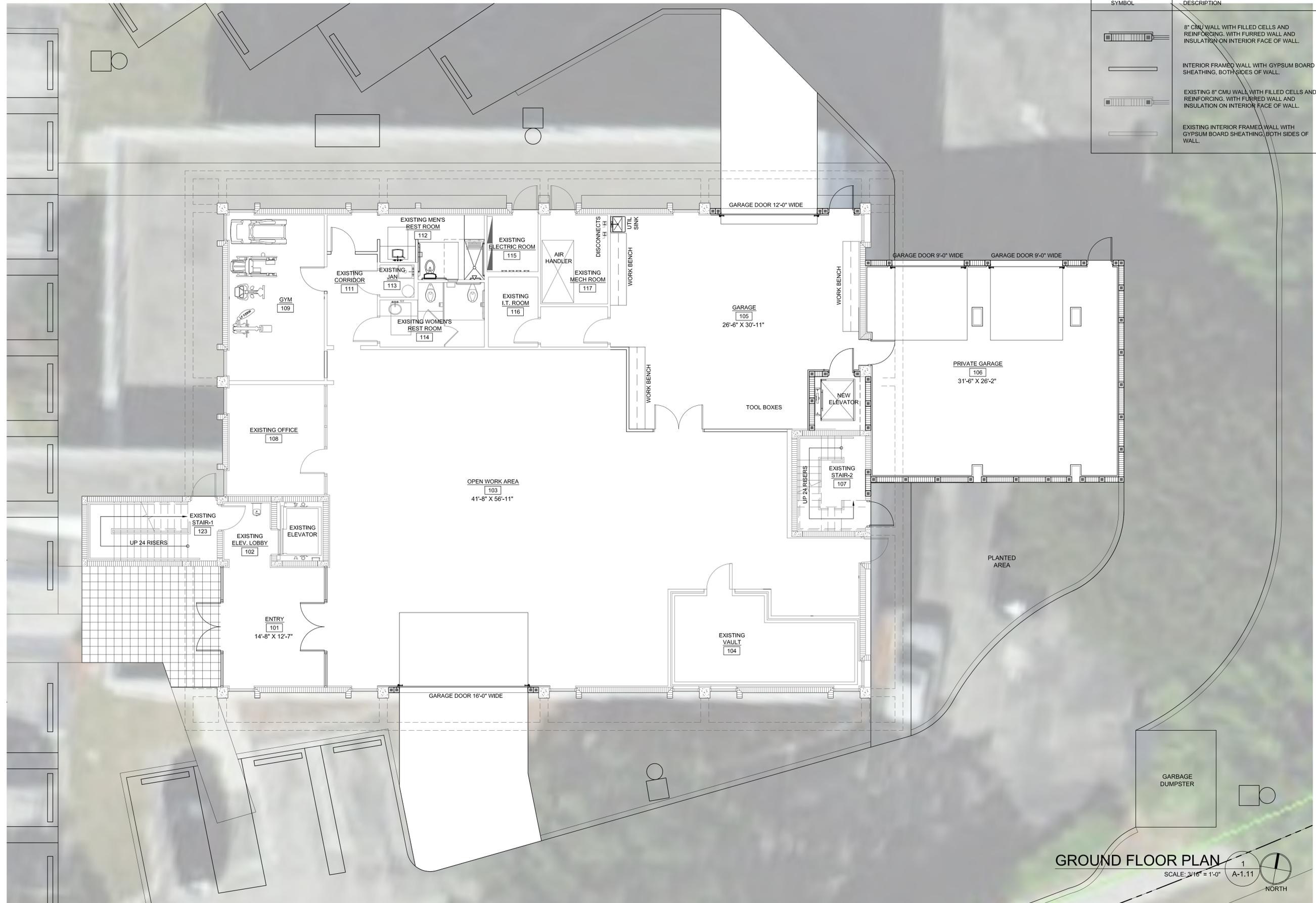
Job No.	22-0401
Drawn By	JWS
Submittal Dates	5-25-2022 6-7-2022 6-15-2022
Revision Dates	6-7-2022
Add 2 LJ for 2 RE	6-7-2022
Comments #1	6-15-2022

Jeffrey W. Smith, RLA
Florida Registration Number:
LA 0001635

These drawings are the property of the landscape architect and are not to be used for other projects except by written permission from the landscape architect. Report any discrepancies immediately to the landscape architect.

Sheet **L-3** of **3**

Landscape Plan



06.17.2022- SCHEMATIC DESIGN SET - NOT FOR CONSTRUCTION

Official Issues:

Issue Description	DATE

Client:
JOHNNY MANAGEMENT FL, INC
 C/O JOHN STALLUPPI, JR.

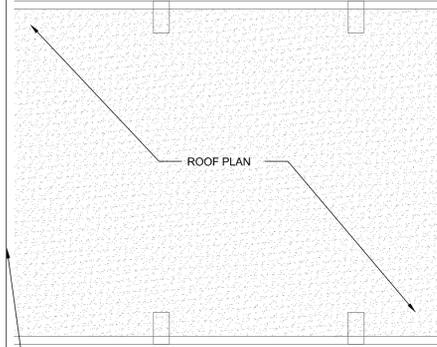
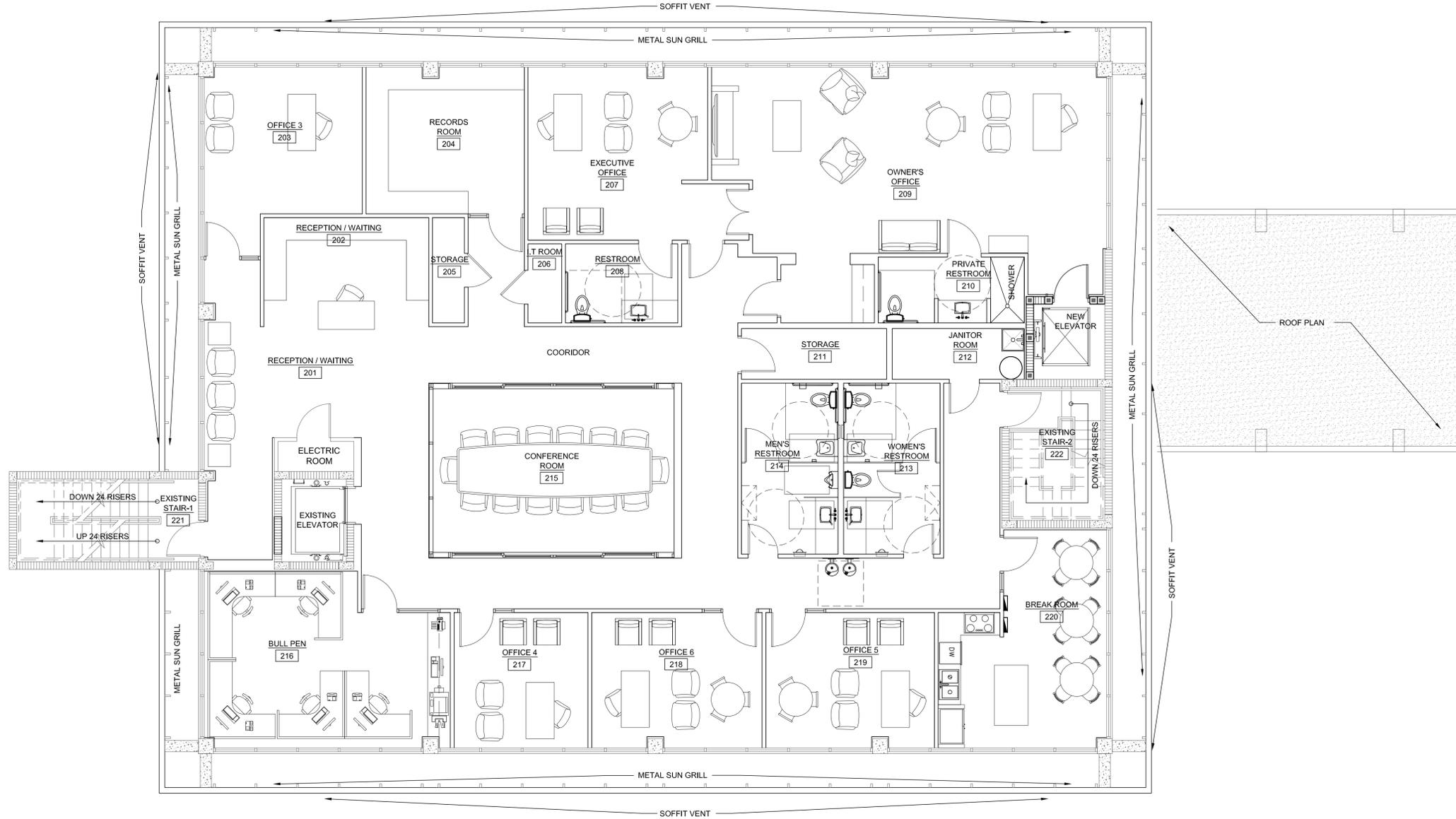
Project Name:
600 BUILDING US-1 RENOVATION

Drawing Name:
GROUND FLOOR PLAN

Architect:
BRENT A. WOOD ARCHITECTURE LLC
 BRENT A. WOOD, NCARB, AIA, LEED AP
 550 CENTENNIAL CENTER BLVD.
 LAS VEGAS, NV 89149
 TEL: 702.220.1277 FAX: 702.419.5261

Sheet Number:
A-1.11

Project Number: 22007
 Plot Date: 06-17-2022
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WALL TYPE LEGEND	
SYMBOL	DESCRIPTION
	8" CMU WALL WITH FILLED CELLS AND REINFORCING. WITH FURRED WALL AND INSULATION ON INTERIOR FACE OF WALL.
	INTERIOR FRAMED WALL WITH GYPSUM BOARD SHEATHING, BOTH SIDES OF WALL.
	EXISTING 8" CMU WALL WITH FILLED CELLS AND REINFORCING. WITH FURRED WALL AND INSULATION ON INTERIOR FACE OF WALL.
	EXISTING INTERIOR FRAMED WALL WITH GYPSUM BOARD SHEATHING, BOTH SIDES OF WALL.

SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 1
 A-1.21
 NORTH

06.17.2022- SCHEMATIC DESIGN SET - NOT FOR CONSTRUCTION

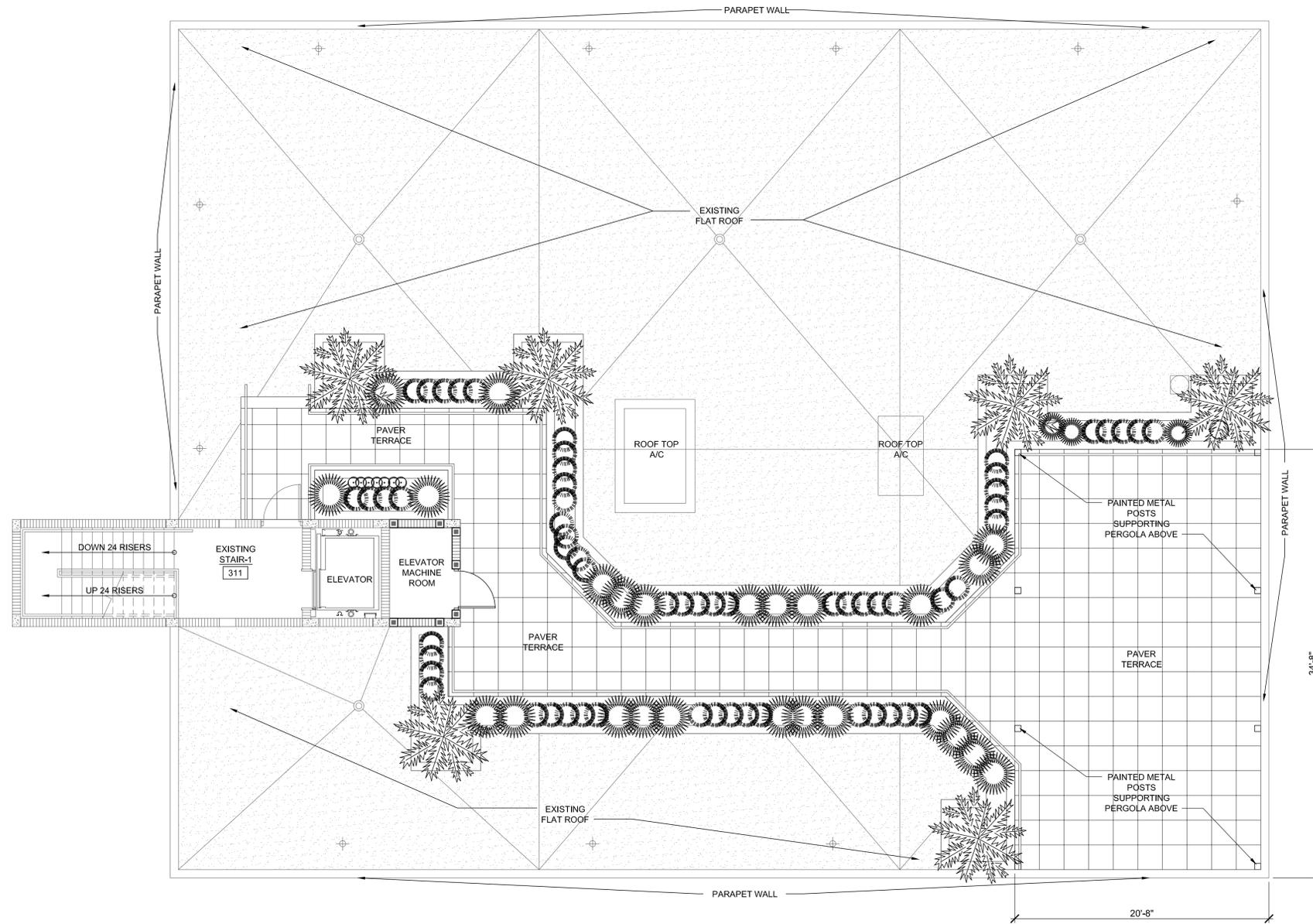
Client: **JOHNNY MANAGEMENT FL, INC**
 C/O JOHN STALUPPI, JR.
 Architect: **BRENT A. WOOD ARCHITECTURE LLC**
 BRENT A. WOOD, NCARB, AIA, LEED AP
 5650 CENTENNIAL CENTER BLVD.
 LAS VEGAS, NV 89149
 TEL: 702.220.1277 FAX: 702.419.5261

Project Name: **600 BUILDING US-1 RENOVATION**
 Drawing Name: **SECOND FLOOR PLAN**

Sheet Number: **A-1.21**
 Project Number: 22007
 Plot Date: 06-17-2022
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Issue Description	Date
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Official Issue



WALL TYPE LEGEND	
SYMBOL	DESCRIPTION
	8" CMU WALL WITH FILLED CELLS AND REINFORCING. WITH FURRED WALL AND INSULATION ON INTERIOR FACE OF WALL.
	INTERIOR FRAMED WALL WITH GYPSUM BOARD SHEATHING, BOTH SIDES OF WALL.
	EXISTING 8" CMU WALL WITH FILLED CELLS AND REINFORCING. WITH FURRED WALL AND INSULATION ON INTERIOR FACE OF WALL.
	EXISTING INTERIOR FRAMED WALL WITH GYPSUM BOARD SHEATHING, BOTH SIDES OF WALL.

ROOF TERRACE PLAN
 SCALE: 3/16" = 1'-0"
 1
 A-1.31
 NORTH

06.17.2022- SCHEMATIC DESIGN SET - NOT FOR CONSTRUCTION

Architect: BRENT A. WOOD ARCHITECTURE LLC
 BRENT A. WOOD, NCARB, AIA, LEED AP
 5550 CENTENNIAL CENTER BLVD.
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 TEL: 702.220.1217 FAX: 702.419.5261

Client: JOHNNY MANAGEMENT FL, INC
 C/O JOHN STALUPPI, JR.
 600 N. FEDERAL HWY
 NORTH PALM BEACH, FLORIDA 33408
 5550 CENTENNIAL CENTER BLVD.
 LAS VEGAS, NV 89149

Project Name: 600 BUILDING US-1 RENOVATION

Drawing Name: ROOF TERRACE PLAN

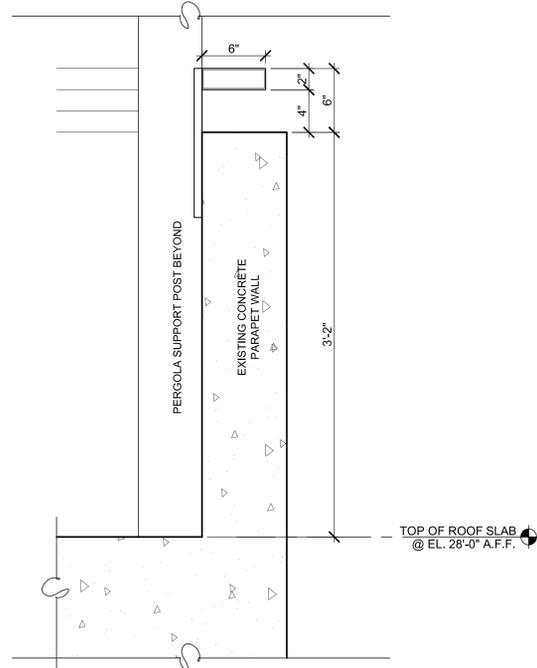
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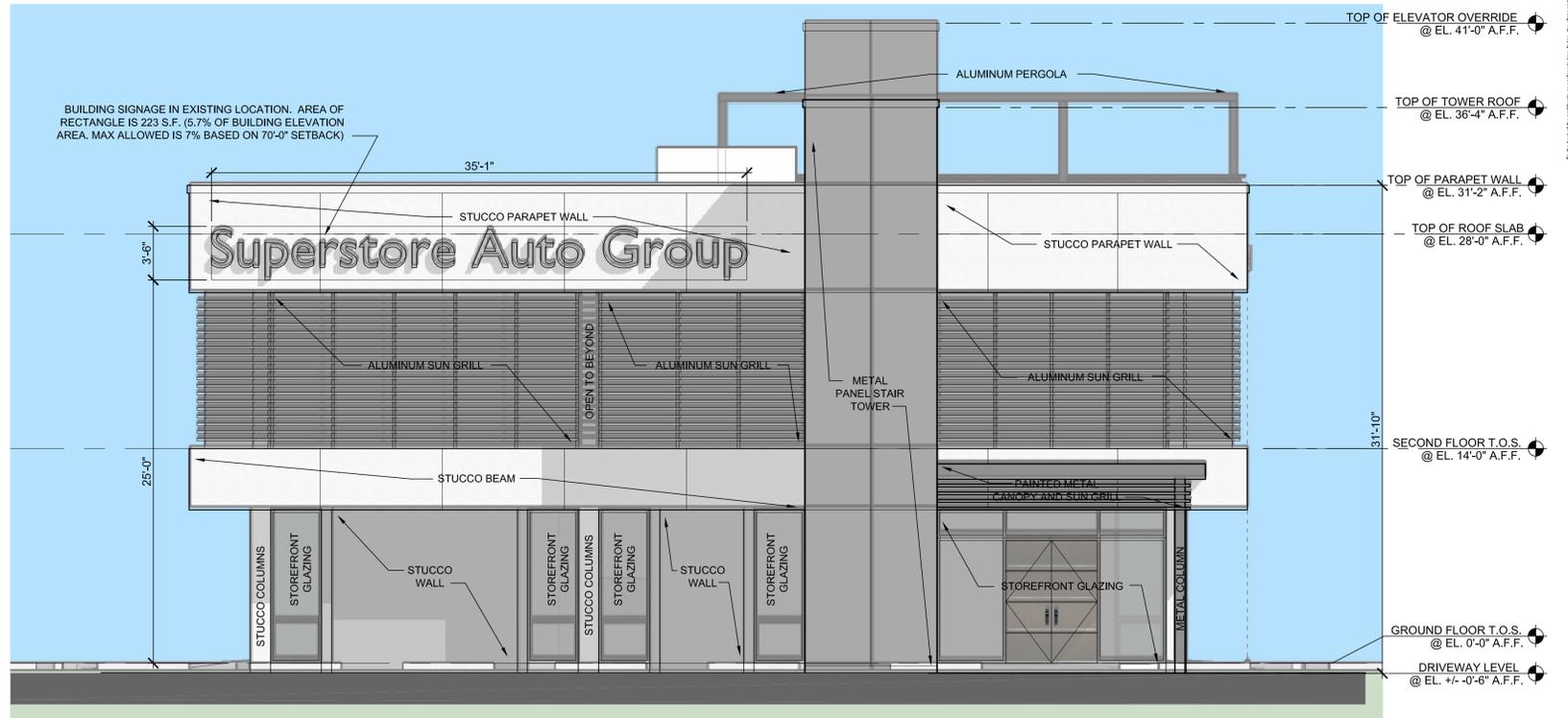
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 Scale: _____

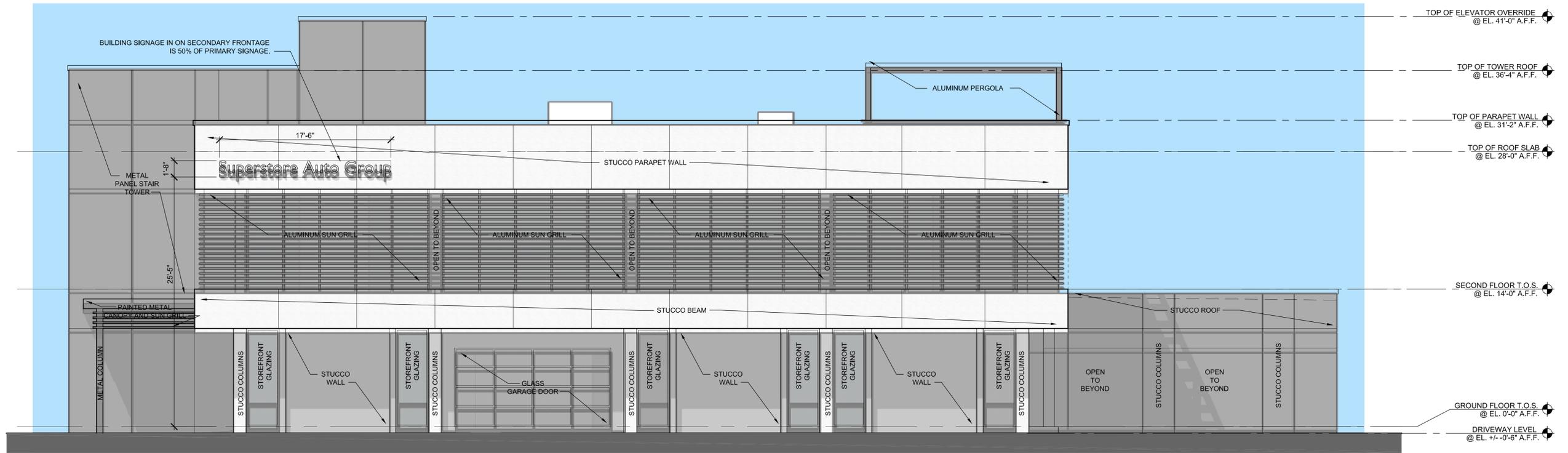
Project Number: 22007
 Plot Date: 06-17-2022
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ENLARGED DETAIL @ ROOF TOP GUARD RAIL
SCALE: 1 1/2" = 1'-0" A-2.01



WEST ELEVATION
SCALE: 1/4" = 1'-0" A-2.01
BUILDING FACADE AREA = 2,143 S.F.



SOUTH ELEVATION
SCALE: 1/4" = 1'-0" A-2.01

06.17.2022- SCHEMATIC DESIGN SET - NOT FOR CONSTRUCTION

Client: JOHNNY MANAGEMENT FL, INC
C/O JOHN STALLUPPI, JR.

Project Name: 600 BUILDING US-1 RENOVATION

Drawing Name: WEST AND SOUTH BUILDING ELEVATIONS

Architect: BRENT A. WOOD ARCHITECTURE LLC
BRENT A. WOOD, NOARB, AR64198
TAL 772.220.8277 FAX 772.419.5261

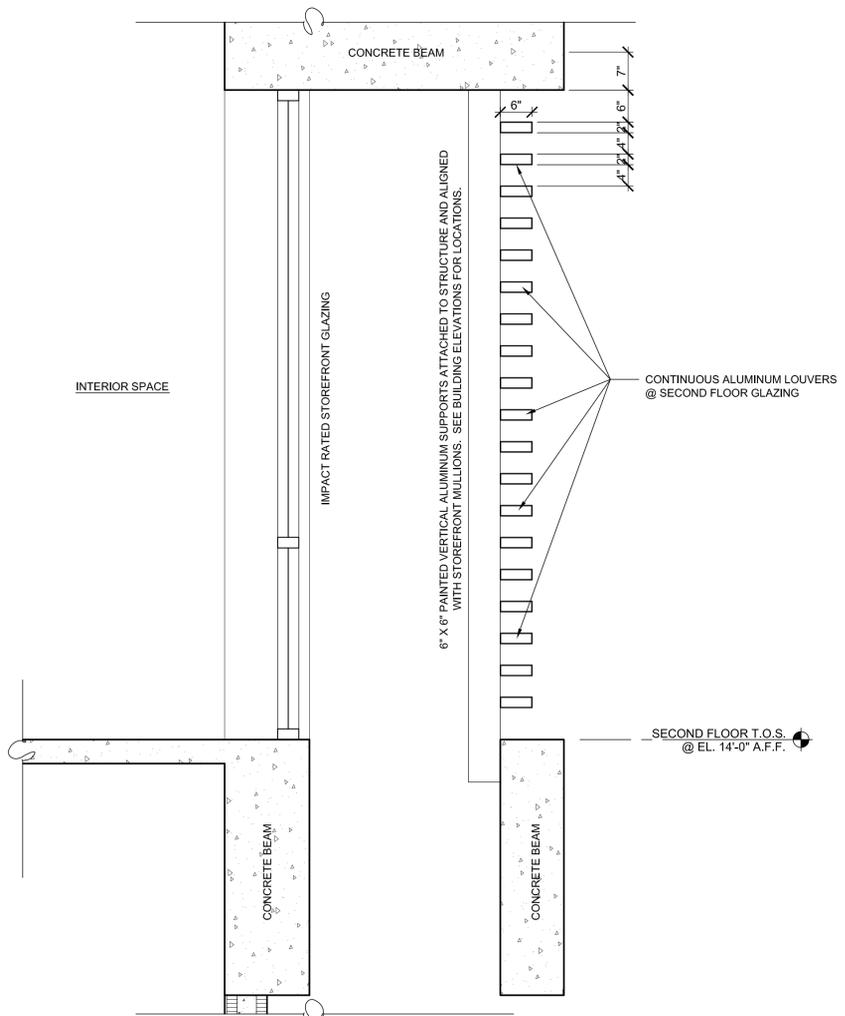
5650 CENTENNIAL CENTER BLVD.
LAS VEGAS, NV 89149

600 N. FEDERAL HWY
NORTH PALM BEACH, FLORIDA 33408

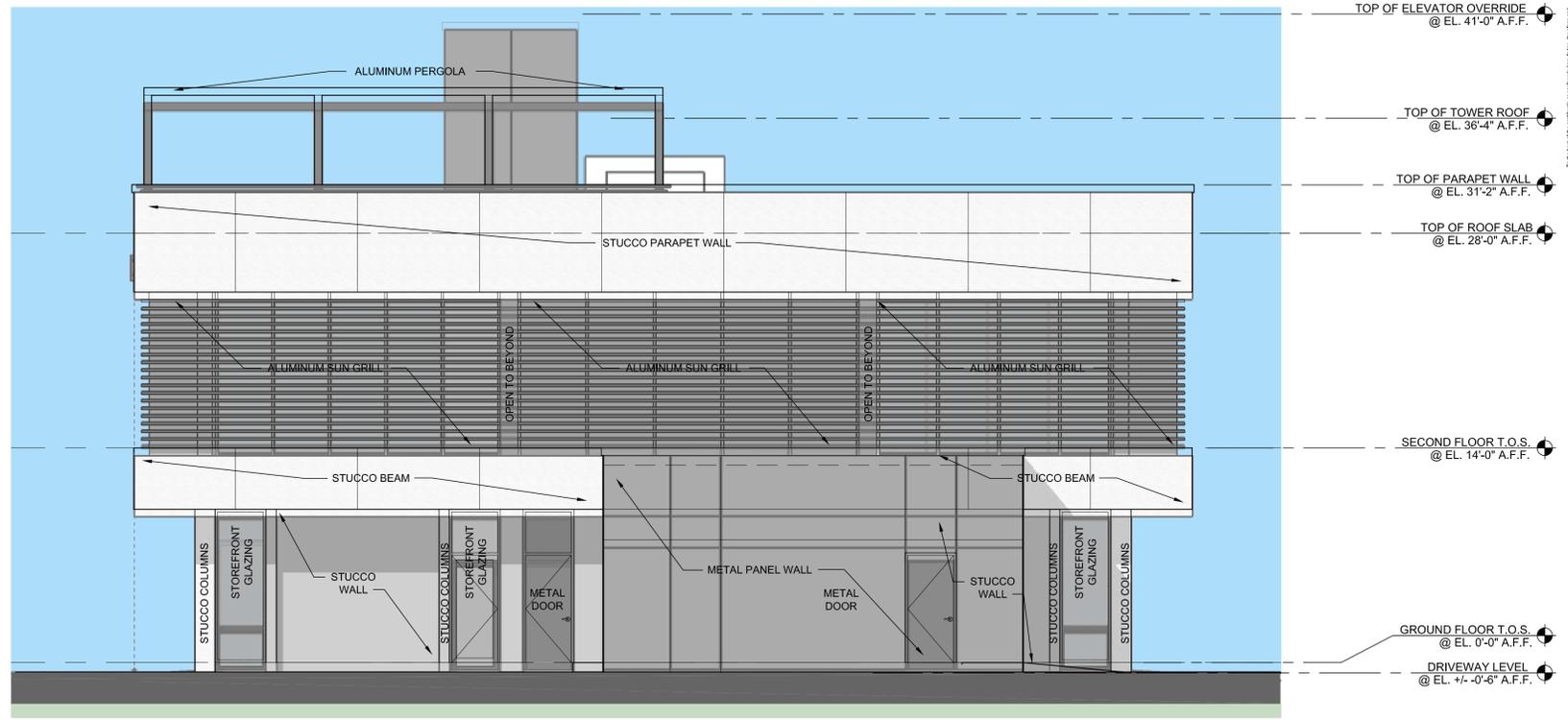
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Project Number: 222007
Plot Date: 06-17-2022
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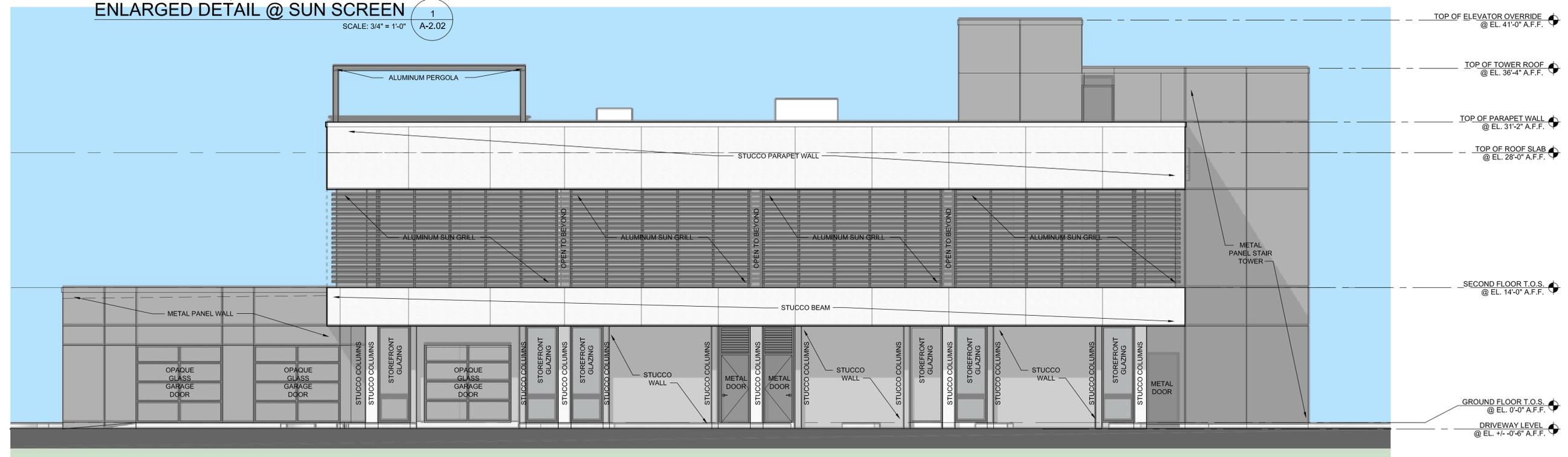
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ENLARGED DETAIL @ SUN SCREEN
SCALE: 3/4" = 1'-0"
A-2.02



EAST ELEVATION
SCALE: 1/4" = 1'-0"
A-2.02



NORTH ELEVATION
SCALE: 1/4" = 1'-0"
B-2.02

06.17.2022- SCHEMATIC DESIGN SET - NOT FOR CONSTRUCTION

Architect: BRENT A. WOOD ARCHITECTURE LLC
Client: JOHNNY MANAGEMENT FL, INC
C/O JOHN STALUPPI, JR.

Project Name: 600 BUILDING US-1 RENOVATION
Drawing Name: EAST AND NORTH BUILDING ELEVATIONS

Scale: 1/4" = 1'-0"

Sheet Number: A-2.02

Project Number: 22007
Project Date: 06-17-2022
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Architect: BRENT A. WOOD, NARB, AR64198, 46994
5650 CENTENNIAL CENTER BLVD.
LAS VEGAS, NV 89149
TEL: 702.220.1217 FAX: 702.419.5261

Revis. Description	Date
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TOP OF ELEVATOR OVERRIDE @ EL. 41'-0" A.F.F.
TOP OF TOWER ROOF @ EL. 36'-4" A.F.F.
TOP OF PARAPET WALL @ EL. 31'-2" A.F.F.
TOP OF ROOF SLAB @ EL. 28'-0" A.F.F.
SECOND FLOOR T.O.S. @ EL. 14'-0" A.F.F.
GROUND FLOOR T.O.S. @ EL. 0'-0" A.F.F.
DRIVEWAY LEVEL @ EL. +/- 0'-6" A.F.F.



Superstore A

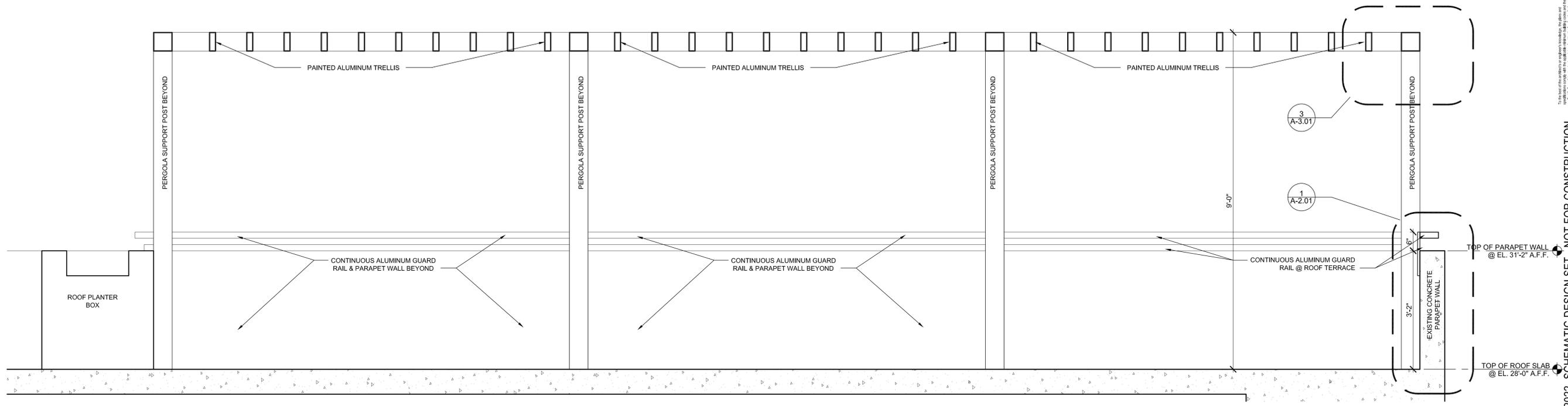
Superstore Auto Group

Superstore Auto Group

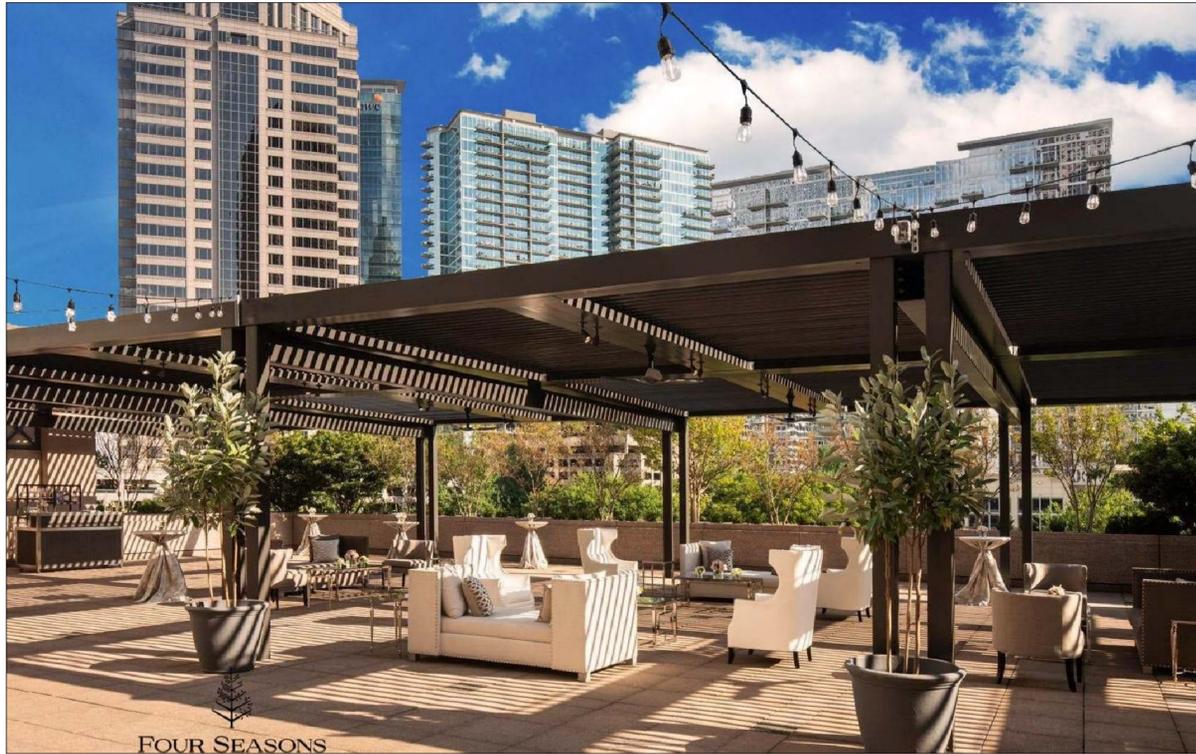


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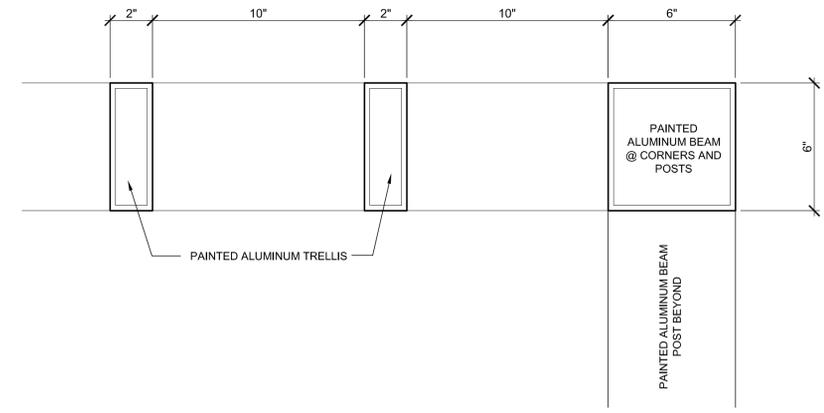




ENLARGED SECTION @ ROOF PERGOLA 1
SCALE: 3/4" = 1'-0" A-3.01



EXAMPLE VIGNETTE @ ROOF TOP PERGOLA 3
N.T.S. A-3.01



ENLARGED DETAIL @ PERGOLA STRUCTURE 2
SCALE: 1 1/2" = 1'-0" A-3.01

06.17.2022- SCHEMATIC DESIGN SET - NOT FOR CONSTRUCTION
 Architect: BRENT A. WOOD ARCHITECTURE LLC
 Client: JOHNNY MANAGEMENT FL, INC C/O JOHN STALUPPI, JR.
 Project Name: 600 BUILDING US-1 RENOVATION
 Drawing Name: ENLARGED DETAIL @ ROOF PERGOLA
 Sheet Number: A-301
 Project Number: 220007
 Plot Date: 06-17-2022
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 5650 CENTENNIAL CENTER BLVD.
 LAS VEGAS, NV 89149
 TEL: 702.220.1277 FAX: 702.419.5261
 Scale:
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Village of North Palm Beach

Department of Community Development

420 U.S. HIGHWAY ONE, SUITE 21 • NORTH PALM BEACH, FLORIDA 33408
561-882-1156 • FAX 561.841.8242 • WWW.VILLAGE-NPB.ORG

DATE: JULY 5, 2022
TO: Planning Commission
THRU: Alex Ahrenholz, AICP, Principal Planner
FROM: Alex Ahrenholz, AICP, Principal Planner
RE: 202 US Hwy 1 Master Sign Plan
July 5, 2022 Meeting
P&Z# 2022-1274

I. APPLICATION

Location:	202 US Hwy 1, approximately 455 ft. south of Northlake Boulevard
PCN:	68-43-42-17-03-000-0300
Request:	Application by Signarama North Palm Beach on behalf of property owner Henry Cromwell for creation of a master sign program.



II. SUMMARY OF REQUEST

The subject property received approval in April of 2022 for a paint color change to the building consisting of Benjamin Moore custom light blue which included painting the metal roof with Sherwin Williams aluminum. There are three tenant bays within the building (addressed 202, 204, 206). One unit is occupied by Natalie's T-Shirt Printing, one unit is occupied by Private Oceans, LLC, a retail and aquarium store and the third unit is vacant. The applicant seeks to install signage utilizing a master sign plan that has been created for the plaza; the proposal however does not address letter font or letter color.

The proposed master sign plan will incorporate the following design and fabrication specifications for wall mounted signs:

- 1.) Tenant signs will be vinyl graphics applied to white Lexan pan-faced panels installed to internally illuminated (LED lamping) sign cabinets mounted to the building fascia or roof at 10 feet off grade. One cabinet sign shall be installed over the entrance per business, measuring 24" H x 120" W. Extruded face 17.25" H x 113.25" W.
- 2.) Sign text may contain elaboration of the company's (code language = nature of the business) products or services, slogans or other verbiage, which is allowed, up to 50% of the company name.
- 3.) Logos are permitted at a maximum of 50% sign face area.

The proposed master sign plan includes criteria **for the existing non-conforming monument sign which is situated between the parking lot area and the south property line and set back approximately 12 ft. east of the sidewalk right-of-way and does not include the three-foot wide planting area at the base of the sign as required by code Sec. 45-88 due to the existing circumstances.** The criteria for the monument sign incorporates the following design and fabrication specifications:

- 1.) Base: 3' H x 84" W concrete base, with 6" H black address numerals, currently painted to match the building.
- 2.) 46" H x 84" W internally illuminated sign cabinet mounted to base.
- 3.) Monument sign shall include only one tenant or the plaza name.

The current Future Land Use (FLU) and current Zoning designations for the property are summarized in the table below.

Future Land Use (FLU) Designation	Zoning Designation
Commercial	CS- Shopping Commercial

The following table summarizes the uses, FLU designations, and zoning districts of the surrounding properties:

	Existing Use	FLU	Zoning
North	Commercial	Commercial	CS- Shopping Commercial
East	Residential	High Density Residential	R3- Apartment Dwelling District
South	Commercial	Commercial	CS- Shopping Commercial
West	Commercial	Commercial	C3- Regional Business District

III. APPLICABLE CODE OF ORDINANCES – STAFF REVIEW

The application as proposed is consistent with the Village Code of Ordinances. The following table shows staff analysis for the proposed sign that will go to building permit for approval if the master sign plan is approved.

Code Section	Required	Proposed	Comment/Analysis
<p>Sec. 6-115. C. 2 Building Wall Sign</p>	<p>Max 10% of facade at min. 100 ft. setback (aprox.75 sf.)</p>	<p>3 Existing Building Wall Signs</p>	<p>Each sign cabinet = 20 sf. for a total of 60 sf. of cabinet area</p>
		<p>24" H x 120" W = 20 sf for each cabinet sign face area</p>	
	<p>Maximum mounting height: 18 ft.</p>	<p>Mounted to roof at a height of 10 ft.</p>	
	<p>Logo maximum of 50%</p>	<p>50% (10 SF)</p>	

IV. APPEARANCE CODE – PLANNING COMMISSION ROLE & RESPONSIBILITIES

Sec. 6-36. - Powers and duties of planning commission concerning the appearance code.

The planning commission shall have the following powers and duties:

- (1) To hold public hearings on and make recommendations for amendments to the appearance plan.
- (2) To consult with and cooperate with other committees and village departments, and any other municipal or governmental bodies on matters affecting the appearance of the village.
- (3) To study exterior design drawings, landscape and site plans and materials for any proposed public buildings, public works or other public improvements and to make recommendations to the council or village manager as to the architectural or aesthetic aspects thereof.
- (4) To study and review preliminary and final plats and make recommendations to the village council.
- (5) To hold site plan and appearance review hearings, when required, and to issue or deny site plan and appearance approval for multiple-dwelling, commercial, mixed-use, and industrial buildings pursuant to the provisions of this division and the appearance plan in Appendix A of this code.

Sec. 6-58. - Action of planning commission.

Upon consideration of an application, the planning commission shall issue site plan and appearance approval upon a finding that the plan conforms to the village appearance plan and other applicable land development regulations. This approval may contain special conditions in response to unusual aspects of the application or to ensure that the approval carries out Village policies and code without undue permitting delays. If the planning commission determines that these criteria are not met, the planning commission may provide such advice, counsel, suggestions and recommendations as it may deem necessary to guide the prospective applicant in the

development of a plan which would comply with the requirements and purposes of the appearance plan and other village land development regulations.

Sec. 6-59. - Approval by planning commission.

No building or other permit, otherwise required under the ordinances of the village, shall be approved by the community development director except upon the granting of site plan and appearance approval by the planning commission, or on appeal, approval by the Village Council (see section 6-35). The foregoing requirements shall not preclude the issuance of permits without such approval if the community development director determine that any of the following apply: Permits for single-family dwellings, permits for a village-owned facility, no external architectural features as defined in section 6-31, and any deviation from valid site plan and appearance approval are minor and not substantial.

CODE OF ORDINANCES APPENDIX A, SECTION IV CRITERIA FOR APPEARANCE

The purpose of these criteria is to establish a checklist of those items which affect the physical aspect of the Village environment. Pertinent to appearance is the design of the site, building and structures, planting, signs, street hardware, and miscellaneous other objects which are observed by the public.

These criteria are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles which can result in creative solutions that will develop a satisfactory visual appearance within the Village.

B RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA

1. Adjacent buildings of different architectural styles or characteristics may be made more compatible by such means as screens, site breaks, and materials.
2. Attractive landscape transition to adjoining properties are encouraged.
3. Harmony in texture, lines, and masses is required. Monotony shall be avoided.
4. Buildings shall have similar scale to those in the surrounding area except where redevelopment at higher intensities is anticipated in a particular zoning district.

C LANDSCAPE AND SITE TREATMENT

Landscape elements included in these criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.

E SIGNS

1. Wall signs shall be part of the architectural concept. Size, color, lettering, location, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings. Signs shall have good proportions.
2. Ground signs shall be designed to be compatible with the architecture of the building. The same criteria applicable to wall signs shall apply to ground signs.
3. Identification signs of a prototype design shall conform to the criteria for building and ground signs.
4. Materials used in signs shall have good architectural character and be harmonious with building design and surrounding landscape.
5. Every sign shall have good scale in its design and in its visual relationship to buildings and surroundings.
6. Colors shall be used harmoniously and with restraint. Excessive brightness and brilliant colors shall be avoided. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged so that light source is shielded from view.
7. The sign provisions of the North Palm Beach Village Code shall be part of the criteria of this subsection.

G MAINTENANCE—PLANNING AND DESIGN FACTORS

1. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
2. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
3. Provision for washing and cleaning of buildings and structures, and control of dirt and refuse, shall be included in the design. Such configurations that tend to catch and accumulate debris, leaves, trash, dirt, and rubbish shall be avoided.

H FACTORS FOR EVALUATION

The following factors and characteristics relating to a development, and which affect appearance, will govern the Appearance Board's evaluation of a design submission after the Board has been advised by the Office of the Building Official that the plan conforms to Village ordinances:

LOGIC OF DESIGN

EXTERIOR SPACE UTILIZATION

ARCHITECTURAL CHARACTER

ATTRACTIVENESS

MATERIAL SELECTION

HARMONY AND COMPATIBILITY

CIRCULATION—VEHICULAR AND PEDESTRIAN

MAINTENANCE ASPECTS

V. CONCLUSION & FINDING OF FACT

In Staff's analysis, the proposed application is consistent with the appearance plan and other code requirements. Should the Planning Commission determine that the Applicant has met the necessary prerequisites for the granting of site plan and appearance approval, staff does not recommend any conditions of approval:

SIGN CRITERIA FOR

202, 204 and 206 US Hwy 1 North Palm Beach , FL 33403

A.) General:

- 1.) All signage shall be designed, constructed, and located in accordance with the following Design Criteria, shall be subject to the written approval of the Landlord and approved by The Village of North Palm Beach Building and Zoning Officials. The criteria have been established to govern the design, fabrication and installation of the tenant signage and is intended to provide all tenants with good visual identification.

B.) Procedural Requirements:

- 1.) Prior to sign fabrication, Tenant shall submit, or cause to be submitted, to Landlord for approval, one (1) set of detailed drawings indicating the location, size, layout, fabrication and installation method, design, copy style and color of the proposed signage, including window/door lettering and/or lettering and/or graphics. Drawings shall show the full fascia with architectural features of the specific demised premise.
- 2.) Tenant's sign contractor shall be a reputable sign fabricator, whose principal business is signage. Additionally, Tenant shall submit, or cause to be submitted, to Landlord a Certificate of Compensation Insurance of type coverage and limits as approved by Landlord in writing. Certificate of Insurance shall name Landlord and its agents as additional insured. No work on Premise may commence without a Certificate of Insurance delivered to the Landlord.
- 3.) Tenant shall be responsible for all required permits for their signage and the installation thereof, including, but not limited to, those by the Village of North Palm Beach, County of Palm Beach, or State of Florida. In addition to those requirements listed herein, tenant must adhere to any municipal code requirements that may further restrict sign size, design or fabrication.
- 4.) Fabrication and Installation costs shall be at the Tenant's sole expense.

C.) Design Requirements:

- 1.) Tenant signs will be vinyl graphics applied to illuminated sign cabinets mounted to the building fascia at 10 feet off grade. One cabinet sign shall be installed per business, measuring 24" H x 120" W. Extruded face 17.25" H x 113.25" W. Monument shall include only one tenant or the Plaza name.
- 2.) Sign text may contain elaboration of the company's products or services, slogans or other verbiage, which is allowed, up to 50% of the company name.
- 3.) Logos are permitted at a maximum of 50% sign face area.

D.) Fabrication Specifications:

Full color vinyl graphics applied to white Lexan pan-faced panel. Panel will be installed to aluminum cabinet with internal LED lamping.
Cabinet is mounted to the roof, just over the entrance of each store .

Monument Sign:

Base: 3 ft H x 84" W concrete base, with 6"H black address numerals.

46" H x 84" W internally illuminated sign cabinet mounted to base.

E.) Installation:

- 1.) All installation components such as, but not limited to, fasteners, clips, bolts, etc. shall be of non-corrosive, stainless steel, aluminum, brass, bronze, or carbon bearing steel with painted finish.
- 2.) All penetrations of the fascia shall be neatly sealed in a watertight manner using a single component polyurethane sealant. Tenant is responsible for fascia penetrations and damage that may result, including but not limited to, water damage.
- 3.) All fasteners for the sign installation shall be concealed. Method of installation to the building fascia shall be approved by the Landlord in writing.
- 4.) Installation shall comply with all local codes and ordinances.

F.) Insurance Requirements:

- 1.) All sign contractors installing signs at 202, 204 and 206 US Hwy 1, North Palm Beach , FL 33403 shall be required to have a current insurance policy in force with limits of no less than one million dollars (\$1,000,000.00) for Commercial General Liability, Workers Compensation and Employer's Liability in Compliance with applicable legal requirements of the State of Florida.



Village of North Palm Beach

Department of Community Development

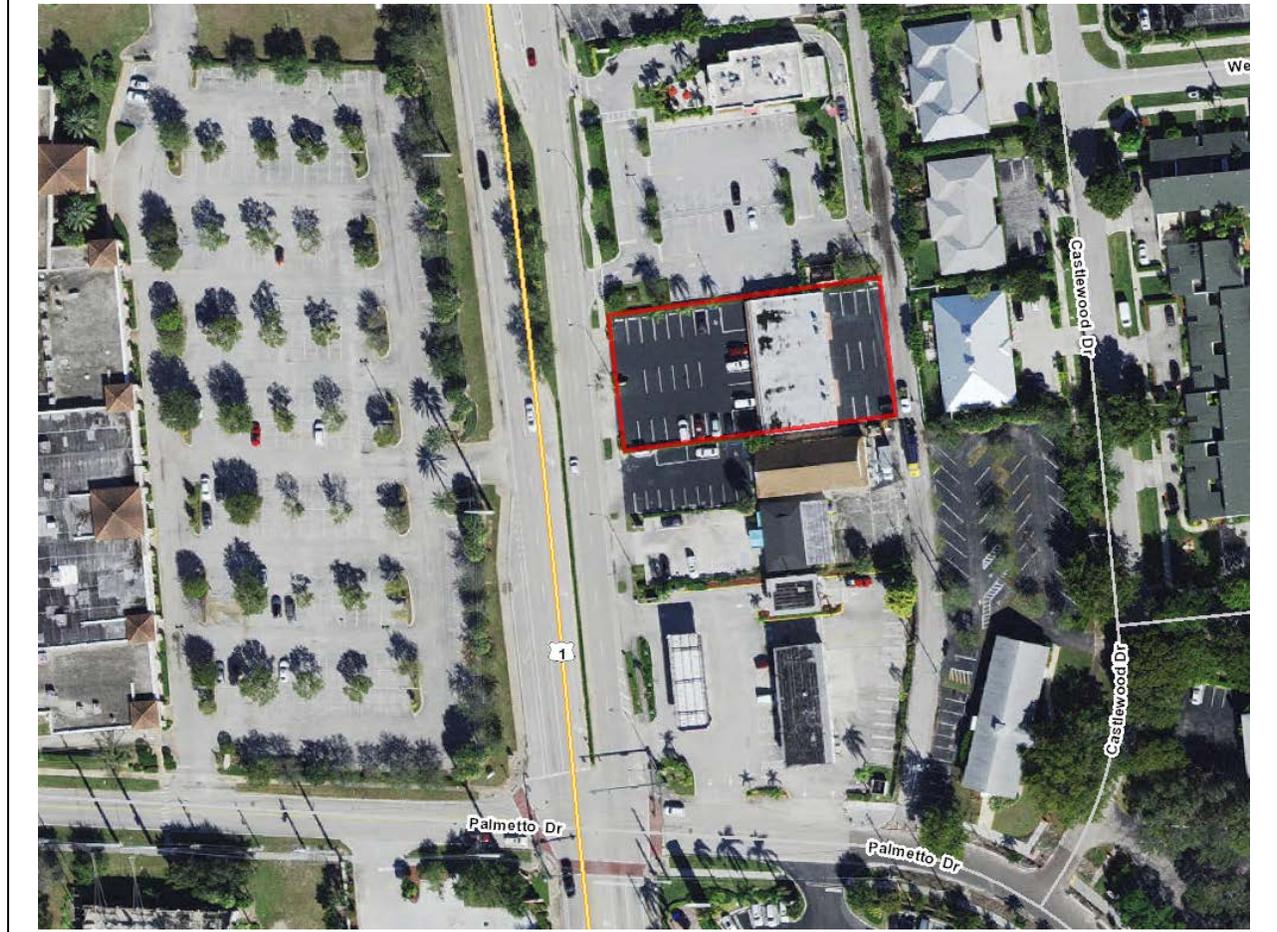
420 U.S. HIGHWAY ONE, SUITE 21 • NORTH PALM BEACH, FLORIDA 33408

561-882-1156 • FAX 561.841.8242 • WWW.VILLAGE-NPB.ORG

DATE: July 5, 2022
TO: Planning Commission
FROM: Alex Ahrenholz, AICP, Principal Planner
RE: 120 US Highway 1
July 5, 2022 Meeting
P&Z# 2022-1049

I. APPLICATION

Location:	120 US Highway 1, 200 feet north of Palmetto Dr.
PCN:	68-43-42-16-01-000-2181
Request:	Application by Pure Nene, LLC for site and façade improvements to the existing retail building.



II. SUMMARY OF REQUEST

The subject building was constructed in 1966, used as many different retail businesses over the years, most notably Minuteman Press print shop. The current property owner, Pure Project Home, purchased the site in 2021 with the intent to expand their existing luxury furniture business. This showroom would be their second location in South Florida.

The application proposes to update the façade of the existing building with a new canopy and front wall, raising the overall height of the parapet by nineteen (19) inches. The existing building is nine (9) feet, eight (8) inches tall with the parapet being twenty-eight (28) inches and is proposed to increase to forty-eight (48) inches. Walls will be painted Benjamin Moore White Dove with large storefront glass on the west façade.

The parking lot will generally stay in the same configuration but the front spaces adjacent to the building will be eliminated for decorative pavers and foundation planting. Furniture display stores require one (1) parking space per four hundred (400) square feet of sales area. At 4,414 square feet, eleven (11) spaces are required and twenty-seven (27) are still provided on site after the elimination of the front spaces. Two trees have been included at the terminus of the parking spaces closest to the building as well as two trees required for foundation plantings. A hedge is also proposed in front of fort (40) percent of the front façade.

Signage is also included the request on the building and the replacement of the monument sign. The building signage and monument sign are proposed to be a black steel internally illuminated panel with the lettering cut out. The existing monument sign is within the required setback, so the proposed sign will be installed a few feet to the east for compliance. Both signs are well within size standards as specified further below.

The current Future Land Use (FLU) and current Zoning designations for the property are summarized in the table below.

Future Land Use (FLU) Designation	Zoning Designation
Commercial	CS- Shopping Commercial

The following table summarizes the uses, FLU designations, and zoning districts of the surrounding properties:

	Existing Use	FLU	Zoning
North	Commercial	Commercial	CS- Shopping Commercial
East	Residential	High Density Residential	R3- Apartment Dwelling District
South	Commercial	Commercial	CS- Shopping Commercial
West	Commercial	Commercial	C3 Regional Mixed-use District

III. APPLICABLE CODE OF ORDINANCES – STAFF REVIEW

The landscaping, parking and signage are all affected with this application and the applicable sections are included below.

Code Section	Required	Proposed	Comment/Analysis
Monument sign Sec. 6-115. C.1.b	Five (5) feet setback, thirty (30) square feet	Five (5) feet setback, thirty (30) square feet	Code compliant

Building wall signs Sec. 6-115 (C)(2)c	Maximum size: 10% of building façade = 128 SF	Total sign area = 16 SF	
Foundation planting Sec.45-91.A & B	Hedge width: five (5) feet	Five (5) feet	Code Compliant
	Minimum length: forty (40) percent	Forty (40) percent	
	One (1) tree per seventy-five (75) linear feet- two (2)	Two (2) crepe myrtle trees provided	

IV. APPEARANCE CODE – PLANNING COMMISSION ROLE & RESPONSIBILITIES

Sec. 6-36. - Powers and duties of planning commission concerning the appearance code.

The planning commission shall have the following powers and duties:

- (1) To hold public hearings on and make recommendations for amendments to the appearance plan.
- (2) To consult with and cooperate with other committees and village departments, and any other municipal or governmental bodies on matters affecting the appearance of the village.
- (3) To study exterior design drawings, landscape and site plans and materials for any proposed public buildings, public works or other public improvements and to make recommendations to the council or village manager as to the architectural or aesthetic aspects thereof.
- (4) To study and review preliminary and final plats and make recommendations to the village council.
- (5) To hold site plan and appearance review hearings, when required, and to issue or deny site plan and appearance approval for multiple-dwelling, commercial, mixed-use, and industrial buildings pursuant to the provisions of this division and the appearance plan in Appendix A of this code.

Sec. 6-58. - Action of planning commission.

Upon consideration of an application, the planning commission shall issue site plan and appearance approval upon a finding that the plan conforms to the village appearance plan and other applicable land development regulations. This approval may contain special conditions in response to unusual aspects of the application or to ensure that the approval carries out Village policies and code without undue permitting delays. If the planning commission determines that these criteria are not met, the planning commission may provide such advice, counsel, suggestions and recommendations as it may deem necessary to guide the prospective applicant in the development of a plan which would comply with the requirements and purposes of the appearance plan and other village land development regulations.

Sec. 6-59. - Approval by planning commission.

No building or other permit, otherwise required under the ordinances of the village, shall be approved by the community development director except upon the granting of site plan and appearance approval by the planning commission, or on appeal, approval by the Village Council (see section 6-35). The foregoing requirements shall not preclude the issuance of permits without such approval if the community development director determine that any of the following apply: Permits for single-family dwellings, permits for a village-owned facility, no external architectural features as defined in section 6-31, and any deviation from valid site plan and appearance approval are minor and not substantial.

CODE OF ORDINANCES APPENDIX A, SECTION IV CRITERIA FOR APPEARANCE

The purpose of these criteria is to establish a checklist of those items which affect the physical aspect of the Village environment. Pertinent to appearance is the design of the site, building and structures, planting, signs, street hardware, and miscellaneous other objects which are observed by the public.

These criteria are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles which can result in creative solutions that will develop a satisfactory visual appearance within the Village

B RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA

1. Adjacent buildings of different architectural styles shall be made compatible by such means as screens, site breaks, and materials.
2. Attractive landscape transitions to adjoining properties are encouraged.
3. Harmony in texture, lines, and masses is required. Monotony shall be avoided.
4. Buildings shall have similar scale to those in the surrounding area except where redevelopment at higher intensities is anticipated in a particular zoning district

C LANDSCAPE AND SITE TREATMENT

Landscape elements included in these criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.

D BUILDING DESIGN

1. Specific architectural styles are not mandated or banned, but the village encourages new buildings to reflect or evolve the distinct local character exemplified by the North Palm Beach Country Club Clubhouse, Village Hall and the Public Safety Building. This character is derived from local and regional examples including Anglo-Caribbean architecture, Florida vernacular, and masonry modern.
2. Evaluation of appearance of a project shall be based on quality of its design and relationship to surroundings.
3. Buildings shall have good scale and be in harmonious conformance with permanent neighboring development.
4. Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - a. Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those which are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways and adjoining properties.
 - b. Inappropriate materials and methods, and those which will produce inconsistency with the structure of the building, shall be avoided.
 - c. Materials shall be of durable quality.
 - d. In any design in which the structural frame is exposed to view, the structural materials shall meet the other criteria for materials.
5. Building components—such as windows, doors, eaves, and parapets—shall have good proportions and relationship to one another.
6. The village discourages walls without windows or with too few windows; all-glass walls; and facades without visual interest or with entrances that are concealed or absent.
7. Colors shall be harmonious, with bright or brilliant colors used only for accent.

8. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building, or they shall be located so as not to be visible from any public ways, including waterways, service alleys, and adjoining properties.
9. Exterior lighting shall be part of the architectural concept. Fixtures, standards and all exposed accessories shall be harmonious with building design.
10. Refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from public ways, including waterways, service alleys, and adjoining properties, using materials as stated in criteria for equipment screening.
11. Monotony of design in single or multiple building projects shall be avoided. Variation of detail, form, and siting shall be used to provide visual interest. In multiple building projects, variable siting or individual buildings may be used to prevent a monotonous appearance.
12. Inappropriate, incompatible, bizarre, and exotic designs shall be avoided.
13. The provisions of the North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.

E SIGNS

1. Wall signs shall be part of the architectural concept. Size, color, lettering, location, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings. Signs shall have good proportions.
2. Ground signs shall be designed to be compatible with the architecture of the building. The same criteria applicable to wall signs shall apply to ground signs.
3. Identification signs of a prototype design shall conform to the criteria for building and ground signs.
4. Materials used in signs shall have good architectural character and be harmonious with building design and surrounding landscape.
5. Every sign shall have good scale in its design and in its visual relationship to buildings and surroundings.
6. Colors shall be used harmoniously and with restraint. Excessive brightness and brilliant colors shall be avoided. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged so that light source is shielded from view.
7. The sign provisions of the North Palm Beach Village Code shall be part of the criteria of this subsection.

F MISCELLANEOUS STRUCTURES AND STREET HARDWARE

1. Miscellaneous structures include any structures, other than buildings, visible to view from any public way or ways. Street hardware includes all objects not commonly referred to as structures and located in streets and public ways and outside of buildings. (See Section VIII, DEFINITIONS)
2. Miscellaneous structures and street hardware located on private property shall be designed to be part of the architectural concept of design and landscape. Materials shall be compatible with buildings, scale shall be good, colors shall be in harmony with buildings and surroundings, and proportions shall be attractive.
3. Miscellaneous structures and street hardware located in public ways and other public property shall be harmonious with design of adjacent buildings and other structures and Village landscape.
4. Lighting in connection with miscellaneous structures and street hardware shall meet the criteria applicable to site, landscape, buildings, and signs.
5. The provisions of the Village of North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.

G MAINTENANCE—PLANNING AND DESIGN FACTORS

1. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
2. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
3. Provision for washing and cleaning of buildings and structures, and control of dirt and refuse, shall be included in the design. Such configurations that tend to catch and accumulate debris, leaves, trash, dirt, and rubbish shall be avoided.

H FACTORS FOR EVALUATION

The following factors and characteristics relating to a development, and which affect appearance, will govern the Appearance Board's evaluation of a design submission after the Board has been advised by the Office of the Building Official that the plan conforms to Village ordinances:

LOGIC OF DESIGN

EXTERIOR SPACE UTILIZATION

ARCHITECTURAL CHARACTER

ATTRACTIVENESS

MATERIAL SELECTION

HARMONY AND COMPATIBILITY

CIRCULATION—VEHICULAR AND PEDESTRIAN

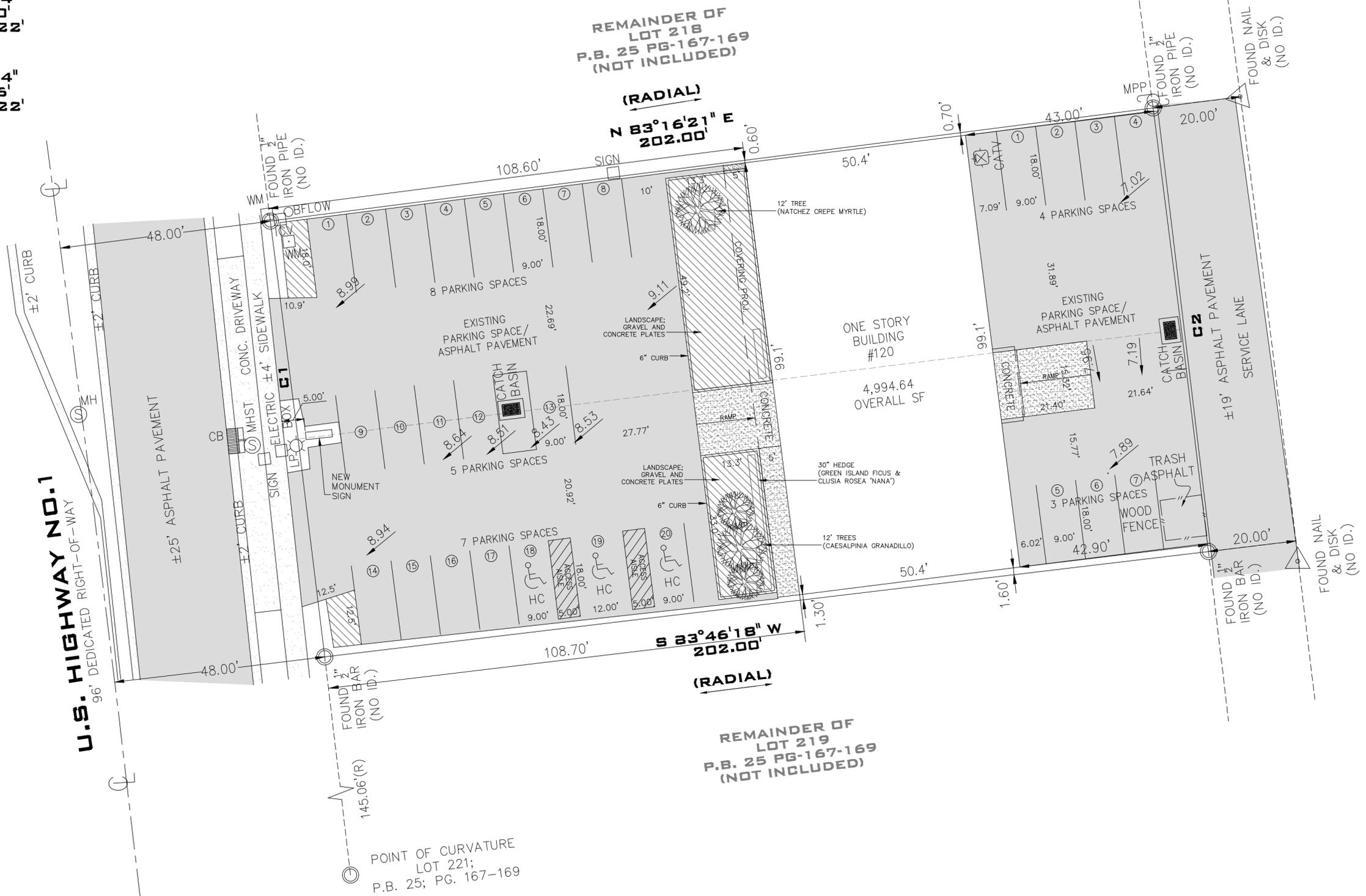
MAINTENANCE ASPECTS

V. CONCLUSION & FINDING OF FACT

In Staff's analysis, the proposed application is consistent with the Village Master Plan, the Appearance Code, and other zoning requirements. Should the Planning Commission determine that the Applicant has met the prerequisites for granting approval, staff has no proposed conditions of approval.

C1:
 $\Delta=00^{\circ}29'54''$
 $L=100.00'$
 $R=11497.22'$

C2:
 $\Delta=00^{\circ}29'54''$
 $L=101.76'$
 $R=11699.22'$



U.S. HIGHWAY NO. 1
 96' DEDICATED RIGHT-OF-WAY

REMAINDER OF LOT 218
 P.B. 25 PG-167-169
 (NOT INCLUDED)

(RADIAL)
 $N 83^{\circ}16'21'' E$
 $202.00'$

(RADIAL)
 $S 83^{\circ}46'18'' W$
 $202.00'$

REMAINDER OF LOT 219
 P.B. 25 PG-167-169
 (NOT INCLUDED)

ABBREVIATIONS AND LEGEND

A/C	=DENOTES AIR CONDITIONING UNIT	P.C.P.	=DENOTES PERMANENT CONTROL POINT
B.S.	=DENOTES BASIS OF BEARINGS	P.O.B.	=DENOTES POINT OF BEGINNING
ASPH.	=DENOTES ASPHALT	TYP.	=DENOTES TYPICAL
PL	=DENOTES PROPERTY LINE	M.H.W.	=DENOTES MEAN HIGH WATER LINE
B.M.	=DENOTES BENCH MARK	— / —	=DENOTES WOOD FENCE
C.B.S.	=DENOTES CONCRETE BLOCK STUCCO	- x -	=DENOTES CHAIN LINK FENCE
CONC.	=DENOTES CONCRETE	— o —	=DENOTES IRON FENCE
L.P.	=DENOTES LIGHT POLE	o	=DENOTES FOUND IRON PIPE (NO ID.)
CB	=DENOTES CATCH BASIN	o	=DENOTES FOUND NAIL AND DISC
C	=DENOTES CENTERLINE	o	=DENOTES ASPHALT PAVEMENT
M	=DENOTES MONUMENT LINE	X.XX	=DENOTES ELEVATIONS
L.M.E.	=DENOTES LAKE & MAINTENANCE EASEMENT	■	=DENOTES BRICK
D.E.	=DENOTES DRAINAGE EASEMENT	■	=DENOTES CONCRETE PAD
D.H.	=DENOTES DRILL HOLE		
(M)	=DENOTES MEASURE		
(R)	=DENOTES RECORD		
W.P.P.	=DENOTES WOOD POWER POLE		
U.E.	=DENOTES UTILITY EASEMENT		
P.B.	=DENOTES PLAT BOOK		
PG.	=DENOTES PAGE		

LOCATION MAP

SECTION 16 & 21, TOWNSHIP 42 SOUTH, RANGE 43 EAST LYING AND BEING IN PALM BEACH COUNTY FLORIDA (NOT TO SCALE)



LEGAL DESCRIPTION

THE SOUTH 1/2 OF LOT 218 AND THE NORTH 1/2 OF LOT 219, BLOCK X, OF "PALM BEACH LAKE WORTH ESTATES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, AT PAGE 167-169, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

AREA OF PROPERTY: 20,378 SQUARE FEET AND/OR 0.467 ACRES MORE OR LESS.

PARKING

NUMBER OF PARKING SPACES REQUIRED:
 1 EACH 400SF (SALOON AREA)
 NUMBER OF PARKING SPACES NEEDED:
 FOR 4414SF - 11 SLOTS MINIMUM
 NUMBER OF PARKING SPACES INTENDED:
 FRONT PARKING LOT (CLIENT):
 20 SPOTS (3 FOR HANDICAPPED)
 BACK PARKING LOT (SERVICE):
 7 SPOTS

PROPERTY ADDRESS

FOLIO NO. 68-43-42-16-01-000-2181
 120 US HIGHWAY NO. 1,
 NORTH PALM BEACH, FL 33408

NOTES:
 1. ALL RIGHTS RESERVED.

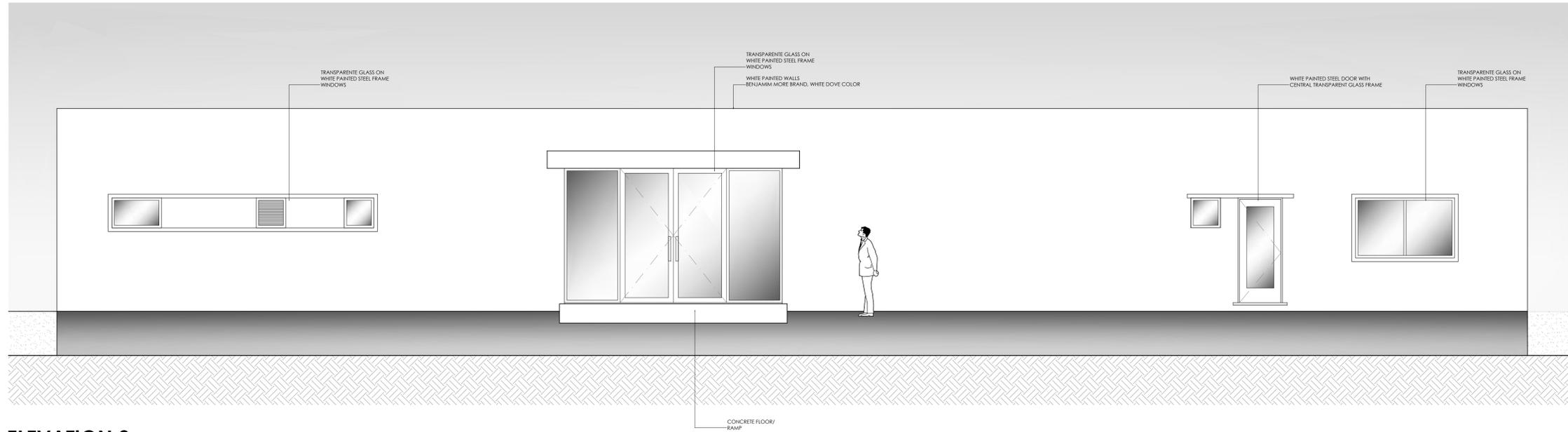
SCALE 1/16" = 1'-0"
 DATE 2022 MAY.12
 SHEET PS.01b2.0
 REVISION 05

CURBY PURE PROJECT HOME STORE
 ADDRESS PALM BEACH, FLORIDA, USA
 SUBJECT BUILDING REMODELING
 CONTENT SITE PLAN VIEW
 PAGE EXECUTIVE (MASONRY)
 DESIGN BY RICARDO GOMES

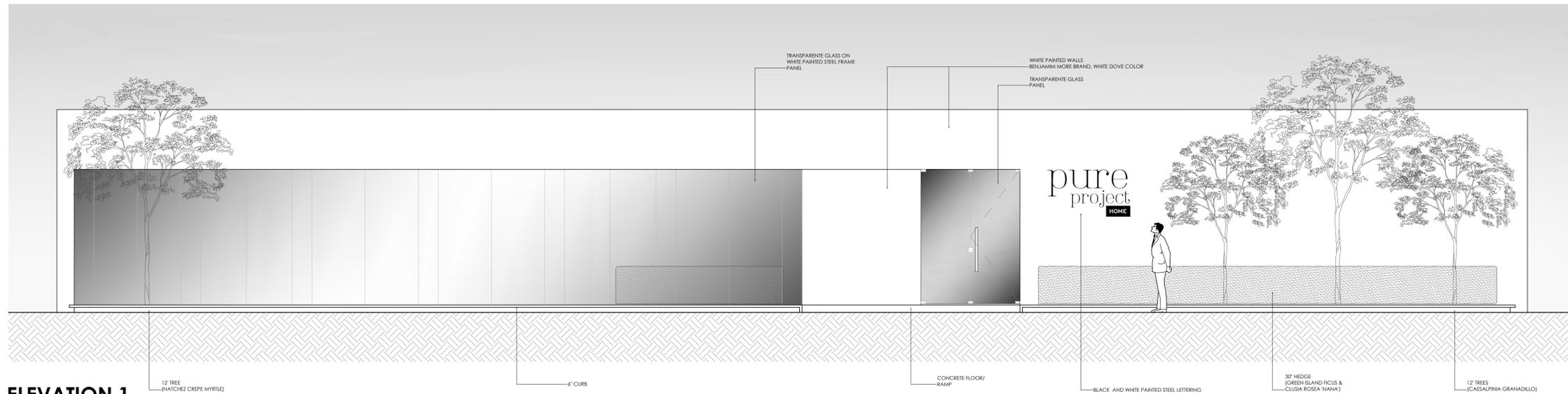
ALLAN MALOUF
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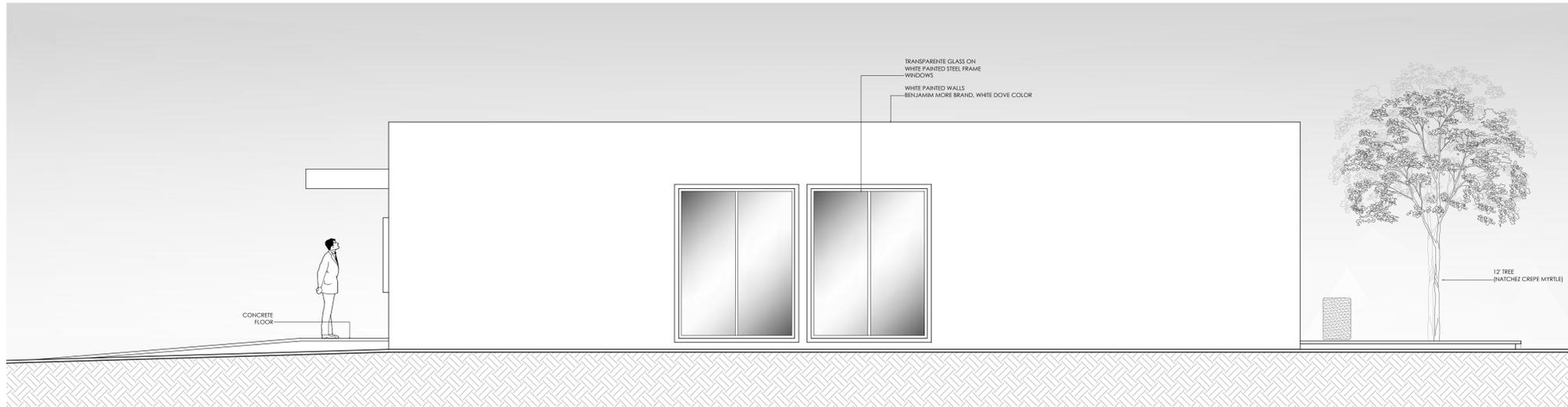
REV.	ALTERATION	DATE
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02		2022.05.14
03		2022.05.04
04		2022.04.21
05		
06		



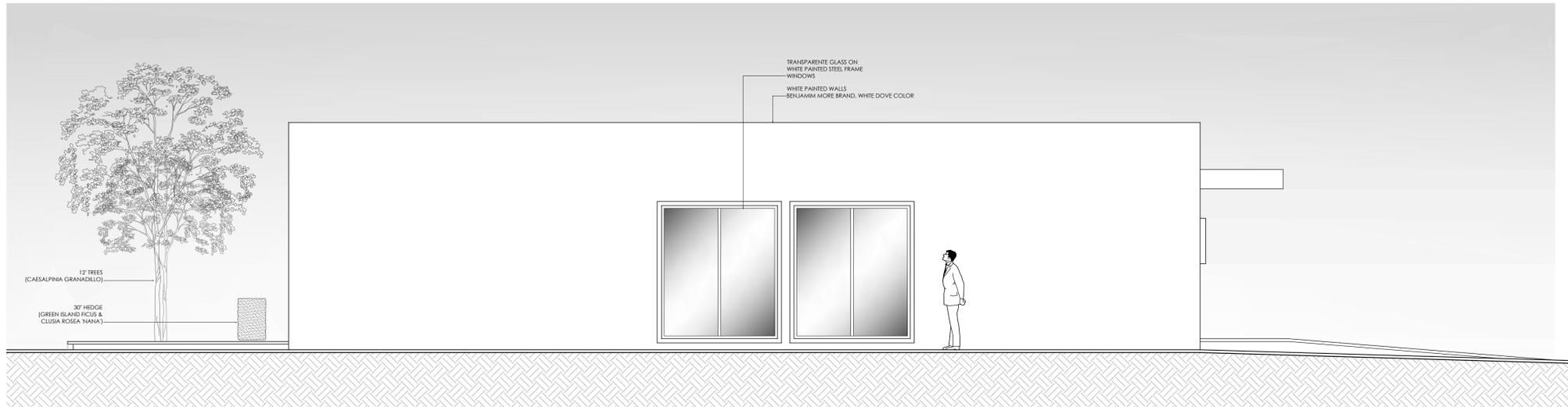
ELEVATION 2
BACK ENTRANCE
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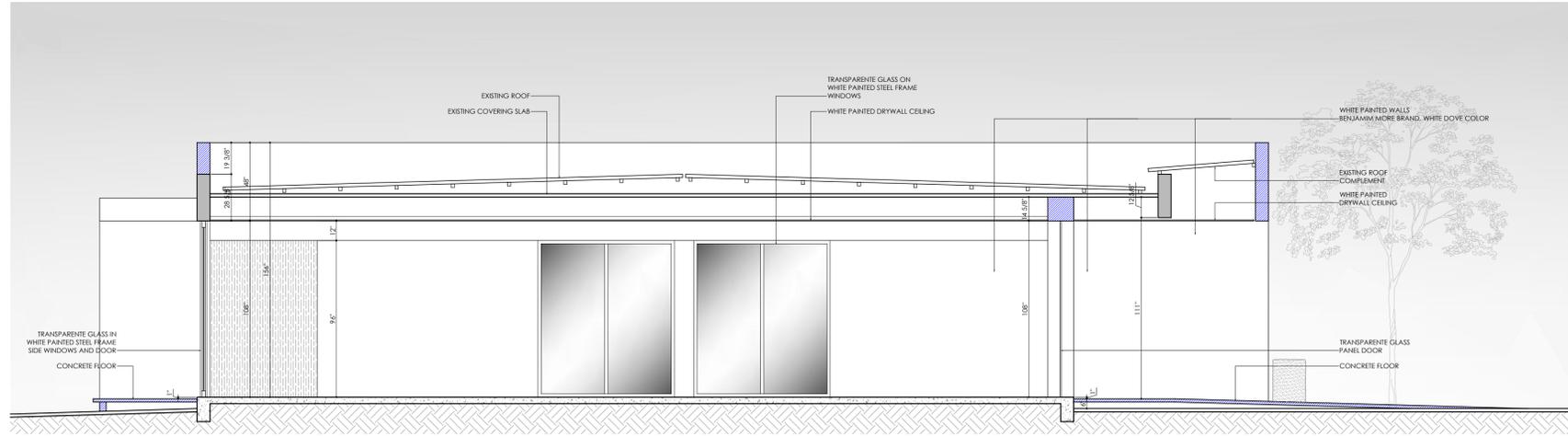
ELEVATION 1
FRONT ENTRANCE
SCALE 1/4" = 1'-0"



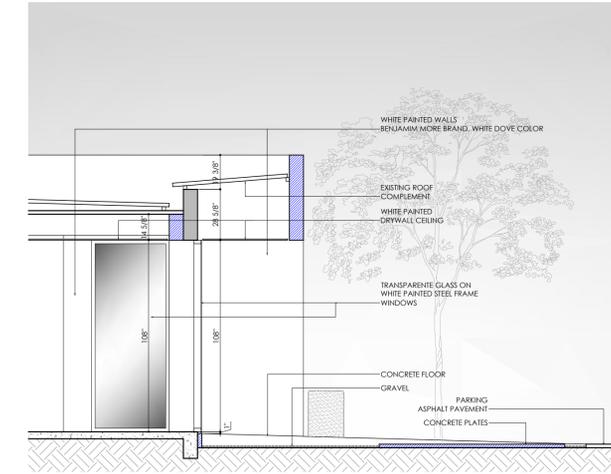
ELEVATION 3
LEFT FACADE
SCALE 1/4" = 1'-0"



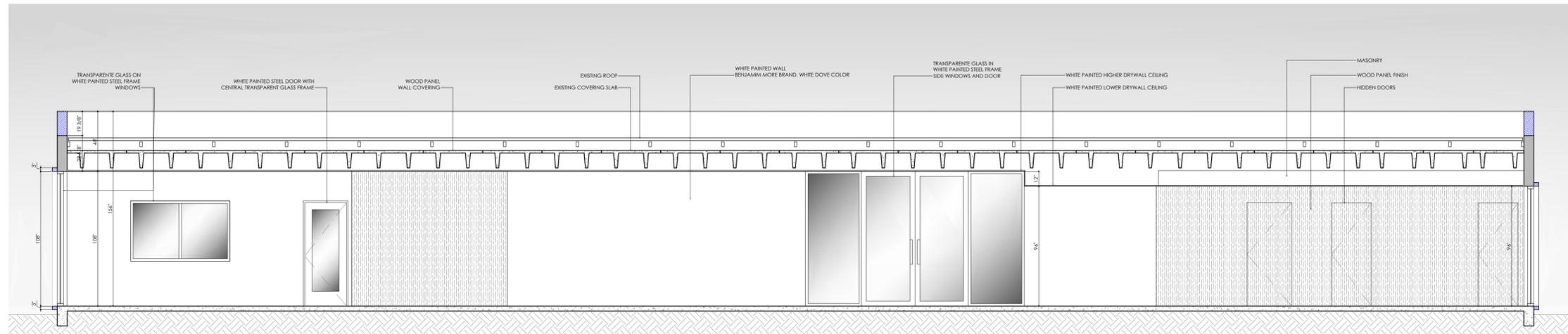
ELEVATION 4
RIGHT FACADE
SCALE 1/4" = 1'-0"



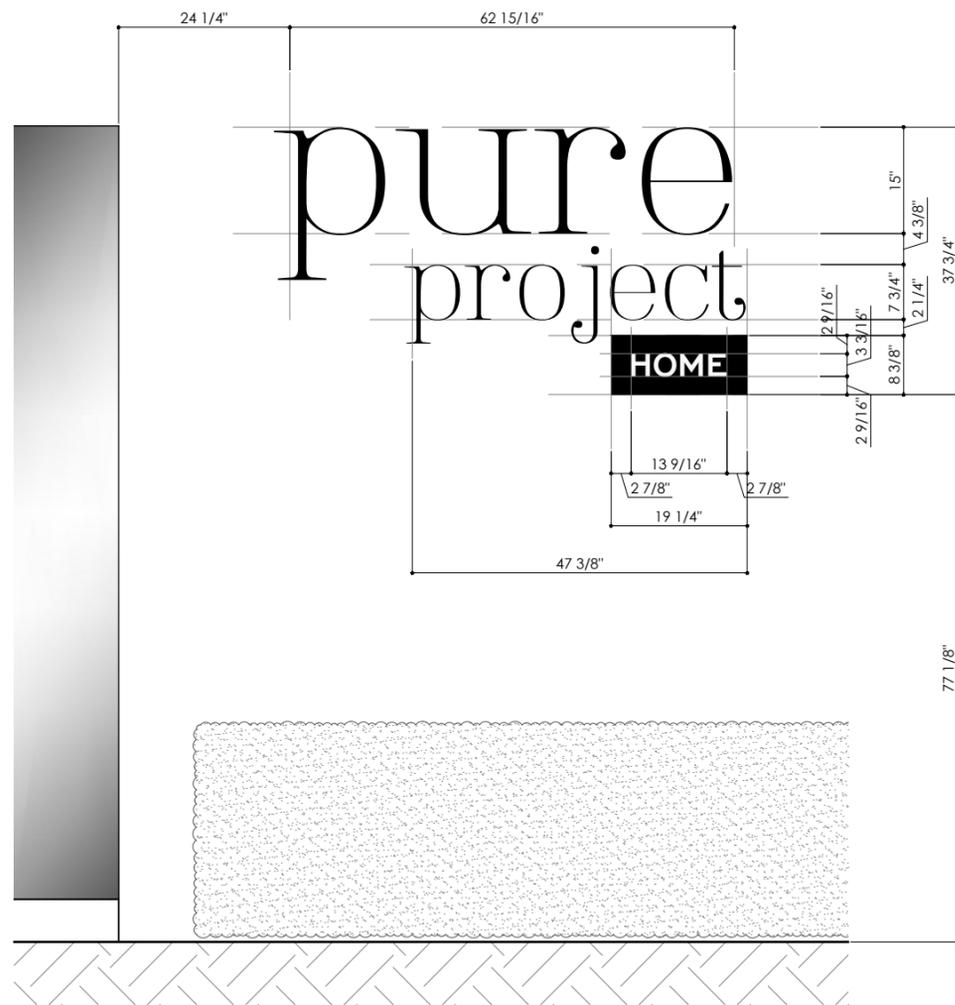
SECTION BB
SCALE 1/4" = 1'-0"



SECTION CC
SCALE 1/4" = 1'-0"



SECTION AA
SCALE 1/4" = 1'-0"



FACADE LETTERING

FRONT VIEW

SCALE 1/2" = 1'-0"

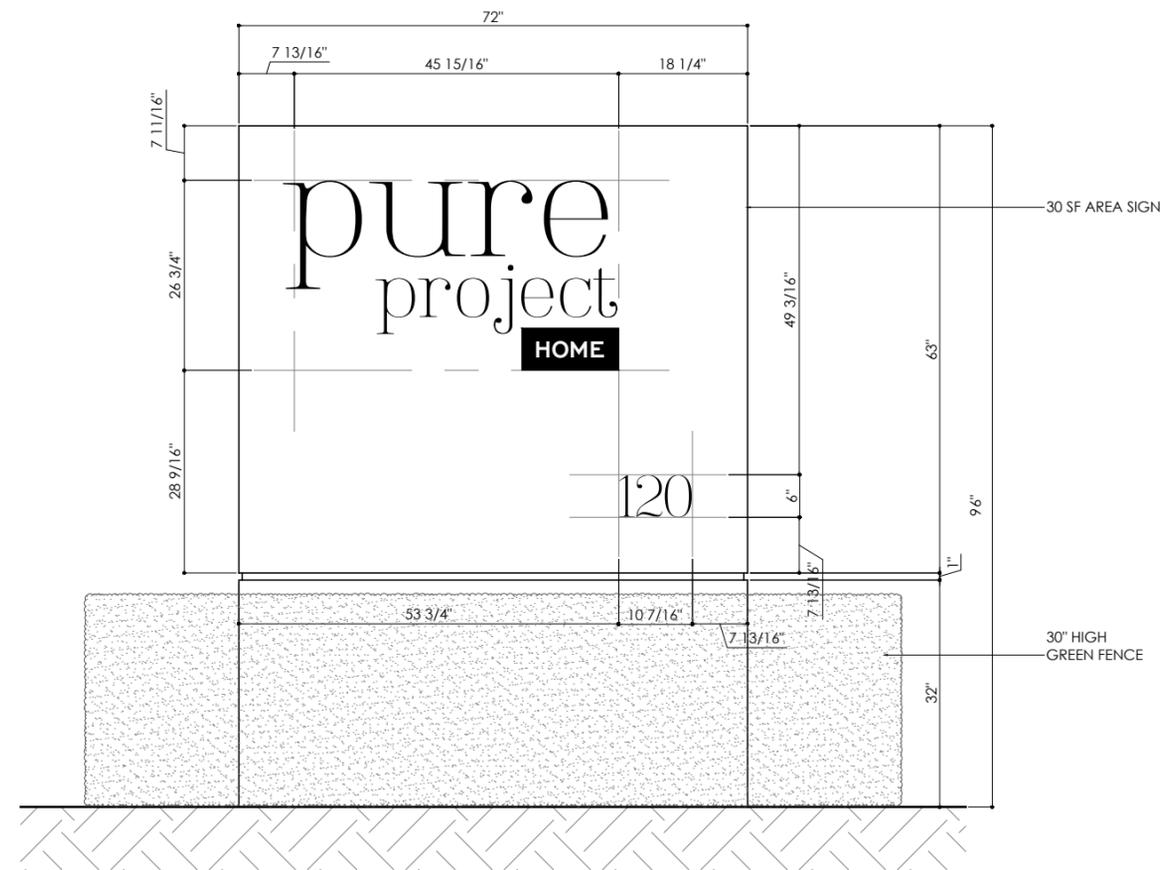
FONT TYPE: TARTLERS END & ENGRAVERS GOTHIC BOLD

MATERIAL: 2" THICKNESS BOX LETTERS

BLACK AND WHITE PAINTED STEEL FRAME

NOTES:

1. CHECK IN SITE MEASUREMENTS BEFORE EXECUTING;
2. MEASUREMENTS IN INCHES;
3. ALL RIGHTS RESERVED.



MONUMENT SIGN

FRONT VIEW

SCALE 1/2" = 1'-0"

FONT TYPE: TARTLERS END & ENGRAVERS GOTHIC BOLD

MATERIAL: SIGN: 2" THICKNESS BOX LETTERS

BLACK AND WHITE PAINTED STEEL FRAME, BOTH SIDES
SUPPORT: WHITE PAINTED MASONRY TOTEM (20" THICKNESS)

SCALE	1/2" = 1'-0"
DATE	2022.MAY.12
SHEET	PS.01b.7
REVISION	05
CLIENT	PURE PROJECT HOME STORE
ADDRESS	PALM BEACH, FLORIDA, USA
SUBJECT	BUILDING MODELING
CONTENT	SIGN DIMENSIONS (FRONT VIEW)
FASE	EXECUTIVE (MASONRY)
DESIGN BY	RICARDO GOMES

ALLAN MALOUF
S T U D I O

allan@allanmalouf.com
@allanmaloufstudio
PH +1 661 373 1819





Village of North Palm Beach

Department of Community Development

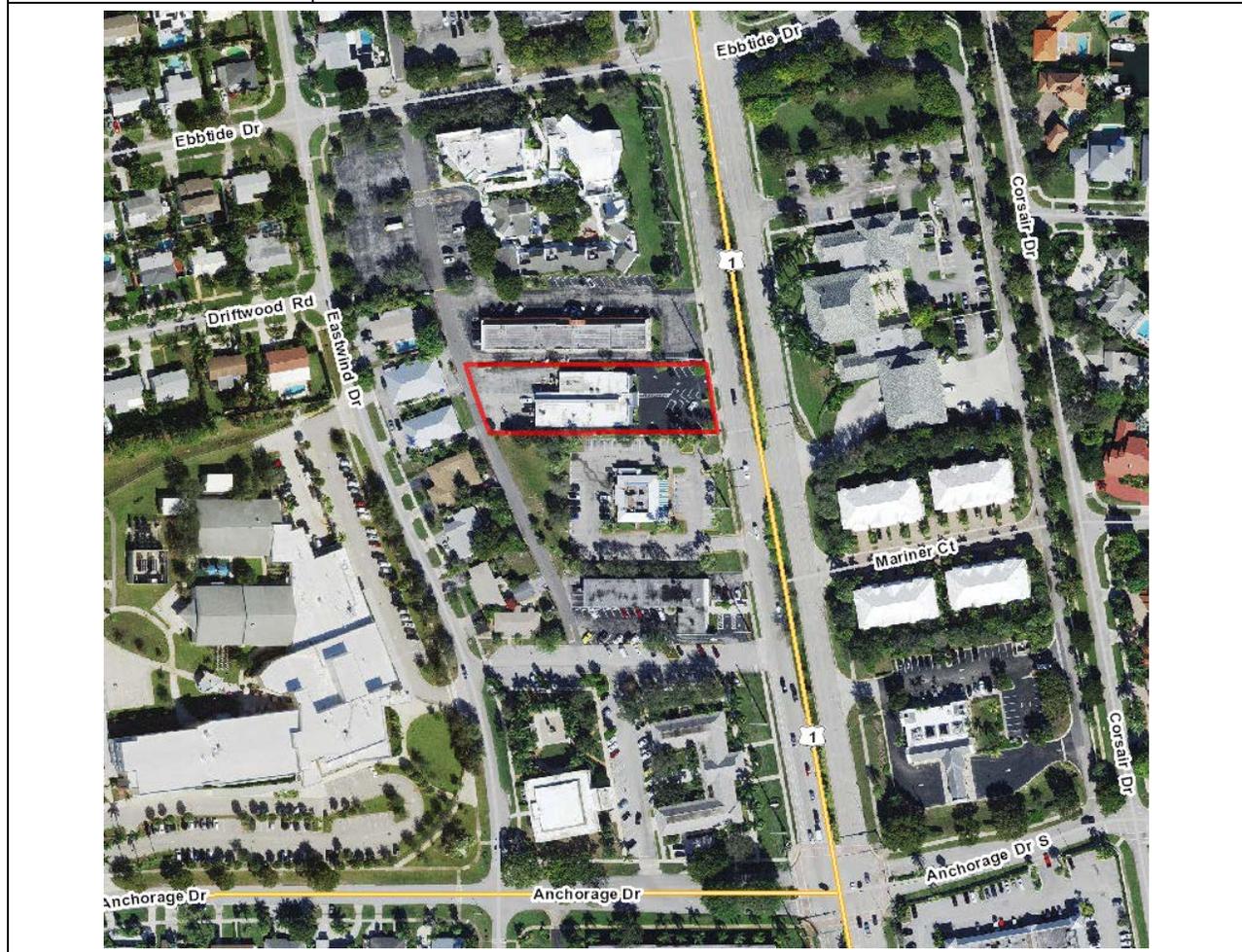
420 U.S. HIGHWAY ONE, SUITE 21 • NORTH PALM BEACH, FLORIDA 33408

561-882-1156 • FAX 561.841.8242 • WWW.VILLAGE-NPB.ORG

DATE: July 5, 2022
TO: Planning Commission
FROM: Alex Ahrenholz, AICP, Principal Planner
RE: 531 US Highway 1
July 5, 2022 Meeting
P&Z# 2021-2452

I. APPLICATION

Location:	531 US Highway 1, 600 feet north of Anchorage Drive
PCN:	68-43-42-16-03-008-0140
Request:	Application by 531 NPB Group, LLC for an addition to the existing retail building.



II. SUMMARY OF REQUEST

The subject building was constructed in 1959, used as many different retail businesses over the years. It has been owned and operated by ASD surfaces since 2019. The building is constructed as two retail suites, but ASD utilizes both for their operations. Along with interior renovations currently being completed, the property owner is proposing to increase their product storage area. The proposed extension is a 2,005 square foot, one (1) story building on the west side of the existing structure. The architect provided the elevations, new site plan and renderings for the proposed addition in December 2021. After many reviews and very few changes, the application is moving forward to the planning commission with everything the applicant was willing to provide.

Though the current parking spaces are very faded, it appears that six (6) spaces are being removed for the new building and then an additional two (2) parallel parking spaces are being provided on the south side. Though the site plan is showing parking provided for the warehouse and office spaces, retail is parked at one (1) space per two hundred (200) square feet of retail floor space, so the back of house is exempt. The site therefore only requires twenty-four (24) parking spaces and thirty-four (34) are provided. Some parking may be removed to provide additional required landscaping and maintain better vehicular flow on site. The elimination has been included as a proposed condition of approval.

The current building is within the CMU, US-1 Mixed-use district. Section 45-64 *Nonconforming structures*, states *“if an existing structure was legally permitted on its site prior to changes in the C-MU or C-NB zoning districts in 2020 but could not be built under the standards in the new district, that existing structure will continue to be deemed a lawful structure and will not be subject to the restrictions in paragraphs (1) and (2). Such structure may be expanded laterally and/or vertically without complying with all new requirements for building frontages, build-to zones, and parking lot setbacks, provided the expansion brings the structure considerably closer to the 2020 requirements than the existing structure.”*

The front building has been deemed a lawful structure, so the addition of the back warehouse building will have to bring the structure considerably closer to the current regulations for landscaping and architectural elements. Waivers have not been requested, but could be applied to any of the below elements not able to be met with the current application.

Landscaping Appendix C, Article VIII

The following code regulations are applicable to the building extension and parking lot improvements:

“Sec. 45-89. A. Landscape buffer- A landscape buffer, at least five (5) feet in width, shall be provided along all sides of parking lots, excluding a side or sides that abut a building. This buffer strip shall be planted with shade trees at a maximum spacing of thirty (30) feet on center and with a continuous hedge that will be maintained at least three (3) feet high.” This code has not been addressed for the areas directly adjacent to the alley along the west property line.

Sec. 45-89 C.2 requires a terminal island, minimum of fifteen (15) feet in length and eight (8) feet in width at the end of every row of parking. There is currently one proposed, but an additional island would be required on the northernmost row of spaces.

Sec. 45-91.A.1. requires a five (5) foot wide strip of landscaping, minimum 40% of all sides of a building. There is currently none proposed and there would have to be waiver requested from this section of the code to maintain the fourteen (14) foot one-way drive aisle on the north side of the structure. There is the possibility of eliminating one of the parking spaces on the west side of the building to at least provide some landscaping on that façade.

Architecture

As the building is in the rear, there is no affect to the build-to-zone of the front façade. Additionally, it does not have to conform with the façade transparency standards for frontages to a right of way. The rear setback for structures is twenty-five (25) feet and forty-three (43) feet is proposed. The architectural height of the ground

floor structures is detailed in Table 9, which limits heights to fourteen (14) feet maximum. The currently proposed single story height is sixteen (16) feet, so this reduction has been added as a proposed condition of approval.

The building is proposed to be painted the color of the existing building (off-white) and utilize the eave style of the building. Overall, it is not greatly in harmony or character of the adjacent buildings as there are no architectural distinctive features and there are very large blank walls. The design also has the entrance to the storage building to the west, which is in a parking space and limits proper accessibility to and from the building.

The current Future Land Use (FLU) and current Zoning designations for the property are summarized in the table below.

Future Land Use (FLU) Designation	Zoning Designation
Commercial	CMU- US1 Mixed Use

The following table summarizes the uses, FLU designations, and zoning districts of the surrounding properties:

	Existing Use	FLU	Zoning
North	Commercial	Commercial	CMU- US1 Mixed Use
East	Public facilities	Public	Public
South	Commercial	Commercial	CMU- US1 Mixed Use
West	Residential	Medium Density Residential	R2- Multiple Family Dwelling district

III. APPLICABLE CODE OF ORDINANCES – STAFF REVIEW

The landscaping, parking and signage are all affected with this application and the applicable sections are included below.

Code Section	Required	Proposed	Comment/Analysis
Ceiling Heights Sec. 45-31, Table 9	Fourteen (14) foot maximum	Sixteen (16) feet	Non- compliant
Landscape islands Sec. 45-89.C.2	Terminal islands= 4 required	2 provided	
Landscape Buffer Sec. 45-89. A	Five (5) feet wide, One (1) tree per thirty (30) linear feet	None provided	
Foundation planting Sec.45-91.A & B	Hedge width: five (5) feet, forty (40) percent of the length	None provided	
	One (1) tree per seventy-five (75) linear feet- two (2)	None provided	

IV. APPEARANCE CODE – PLANNING COMMISSION ROLE & RESPONSIBILITIES

Sec. 6-36. - Powers and duties of planning commission concerning the appearance code.

The planning commission shall have the following powers and duties:

- (1) To hold public hearings on and make recommendations for amendments to the appearance plan.
- (2) To consult with and cooperate with other committees and village departments, and any other municipal or governmental bodies on matters affecting the appearance of the village.
- (3) To study exterior design drawings, landscape and site plans and materials for any proposed public buildings, public works or other public improvements and to make recommendations to the council or village manager as to the architectural or aesthetic aspects thereof.
- (4) To study and review preliminary and final plats and make recommendations to the village council.
- (5) To hold site plan and appearance review hearings, when required, and to issue or deny site plan and appearance approval for multiple-dwelling, commercial, mixed-use, and industrial buildings pursuant to the provisions of this division and the appearance plan in Appendix A of this code.

Sec. 6-58. - Action of planning commission.

Upon consideration of an application, the planning commission shall issue site plan and appearance approval upon a finding that the plan conforms to the village appearance plan and other applicable land development regulations. This approval may contain special conditions in response to unusual aspects of the application or to ensure that the approval carries out Village policies and code without undue permitting delays. If the planning commission determines that these criteria are not met, the planning commission may provide such advice, counsel, suggestions and recommendations as it may deem necessary to guide the prospective applicant in the development of a plan which would comply with the requirements and purposes of the appearance plan and other village land development regulations.

Sec. 6-59. - Approval by planning commission.

No building or other permit, otherwise required under the ordinances of the village, shall be approved by the community development director except upon the granting of site plan and appearance approval by the planning commission, or on appeal, approval by the Village Council (see section 6-35). The foregoing requirements shall not preclude the issuance of permits without such approval if the community development director determine that any of the following apply: Permits for single-family dwellings, permits for a village-owned facility, no external architectural features as defined in section 6-31, and any deviation from valid site plan and appearance approval are minor and not substantial.

CODE OF ORDINANCES APPENDIX A, SECTION IV CRITERIA FOR APPEARANCE

The purpose of these criteria is to establish a checklist of those items which affect the physical aspect of the Village environment. Pertinent to appearance is the design of the site, building and structures, planting, signs, street hardware, and miscellaneous other objects which are observed by the public.

These criteria are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles which can result in creative solutions that will develop a satisfactory visual appearance within the Village

B RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA

1. Adjacent buildings of different architectural styles shall be made compatible by such means as screens, site breaks, and materials.
2. Attractive landscape transitions to adjoining properties are encouraged.

3. Harmony in texture, lines, and masses is required. Monotony shall be avoided.
4. Buildings shall have similar scale to those in the surrounding area except where redevelopment at higher intensities is anticipated in a particular zoning district

C LANDSCAPE AND SITE TREATMENT

Landscape elements included in these criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.

D BUILDING DESIGN

1. Specific architectural styles are not mandated or banned, but the village encourages new buildings to reflect or evolve the distinct local character exemplified by the North Palm Beach Country Club Clubhouse, Village Hall and the Public Safety Building. This character is derived from local and regional examples including Anglo-Caribbean architecture, Florida vernacular, and masonry modern.
2. Evaluation of appearance of a project shall be based on quality of its design and relationship to surroundings.
3. Buildings shall have good scale and be in harmonious conformance with permanent neighboring development.
4. Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.
 - a. Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those which are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways and adjoining properties.
 - b. Inappropriate materials and methods, and those which will produce inconsistency with the structure of the building, shall be avoided.
 - c. Materials shall be of durable quality.
 - d. In any design in which the structural frame is exposed to view, the structural materials shall meet the other criteria for materials.
5. Building components—such as windows, doors, eaves, and parapets—shall have good proportions and relationship to one another.
6. The village discourages walls without windows or with too few windows; all-glass walls; and facades without visual interest or with entrances that are concealed or absent.
7. Colors shall be harmonious, with bright or brilliant colors used only for accent.
8. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building, or they shall be located so as not to be visible from any public ways, including waterways, service alleys, and adjoining properties.
9. Exterior lighting shall be part of the architectural concept. Fixtures, standards and all exposed accessories shall be harmonious with building design.
10. Refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from public ways, including waterways, service alleys, and adjoining properties, using materials as stated in criteria for equipment screening.
11. Monotony of design in single or multiple building projects shall be avoided. Variation of detail, form, and siting shall be used to provide visual interest. In multiple building projects, variable siting or individual buildings may be used to prevent a monotonous appearance.
12. Inappropriate, incompatible, bizarre, and exotic designs shall be avoided.

13. The provisions of the North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.

E SIGNS

1. Wall signs shall be part of the architectural concept. Size, color, lettering, location, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings. Signs shall have good proportions.
2. Ground signs shall be designed to be compatible with the architecture of the building. The same criteria applicable to wall signs shall apply to ground signs.
3. Identification signs of a prototype design shall conform to the criteria for building and ground signs.
4. Materials used in signs shall have good architectural character and be harmonious with building design and surrounding landscape.
5. Every sign shall have good scale in its design and in its visual relationship to buildings and surroundings.
6. Colors shall be used harmoniously and with restraint. Excessive brightness and brilliant colors shall be avoided. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged so that light source is shielded from view.
7. The sign provisions of the North Palm Beach Village Code shall be part of the criteria of this subsection.

F MISCELLANEOUS STRUCTURES AND STREET HARDWARE

1. Miscellaneous structures include any structures, other than buildings, visible to view from any public way or ways. Street hardware includes all objects not commonly referred to as structures and located in streets and public ways and outside of buildings. (See Section VIII, DEFINITIONS)
2. Miscellaneous structures and street hardware located on private property shall be designed to be part of the architectural concept of design and landscape. Materials shall be compatible with buildings, scale shall be good, colors shall be in harmony with buildings and surroundings, and proportions shall be attractive.
3. Miscellaneous structures and street hardware located in public ways and other public property shall be harmonious with design of adjacent buildings and other structures and Village landscape.
4. Lighting in connection with miscellaneous structures and street hardware shall meet the criteria applicable to site, landscape, buildings, and signs.
5. The provisions of the Village of North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.

G MAINTENANCE—PLANNING AND DESIGN FACTORS

1. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
2. Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
3. Provision for washing and cleaning of buildings and structures, and control of dirt and refuse, shall be included in the design. Such configurations that tend to catch and accumulate debris, leaves, trash, dirt, and rubbish shall be avoided.

H FACTORS FOR EVALUATION

The following factors and characteristics relating to a development, and which affect appearance, will govern the Appearance Board's evaluation of a design submission after the Board has been advised by the Office of the Building Official that the plan conforms to Village ordinances:

LOGIC OF DESIGN

EXTERIOR SPACE UTILIZATION

ARCHITECTURAL CHARACTER

ATTRACTIVENESS

MATERIAL SELECTION

HARMONY AND COMPATIBILITY

CIRCULATION—VEHICULAR AND PEDESTRIAN

MAINTENANCE ASPECTS

V. CONCLUSION & FINDING OF FACT

In Staff's analysis, the proposed application is inconsistent with the Village Master Plan, the Appearance Code, and other zoning requirements and therefore recommends denial. Should the Planning Commission determine that the Applicant has met the prerequisites for granting approval, staff proposes the following conditions of approval:

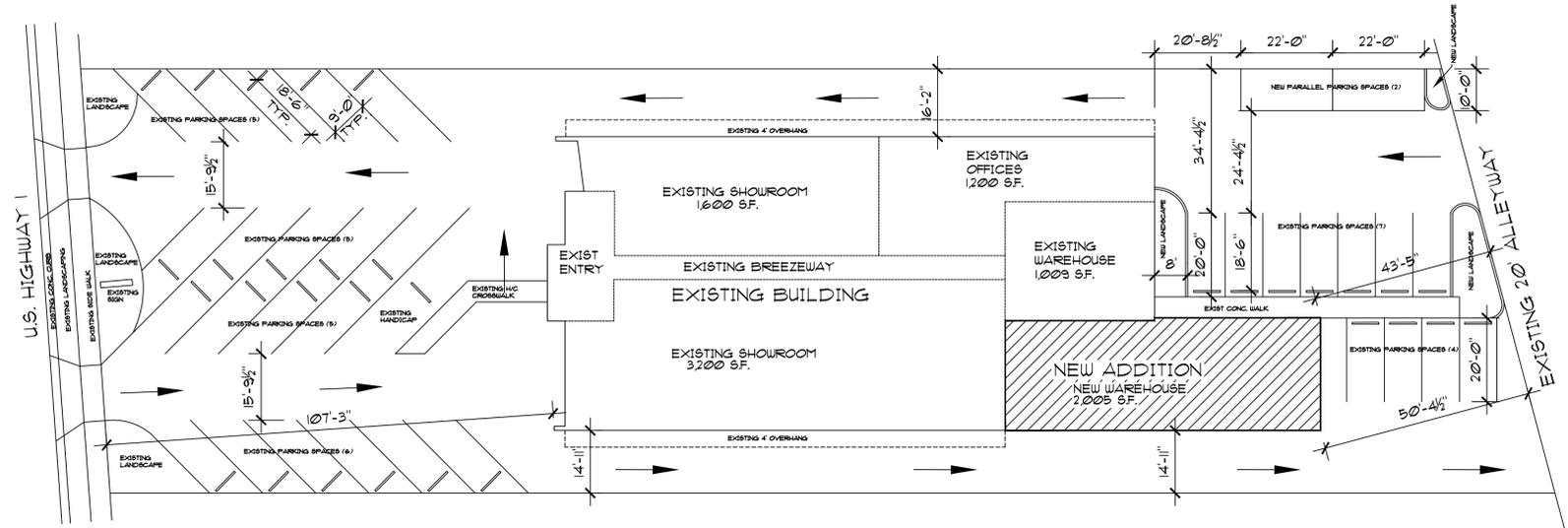
1. Ceiling height for proposed storage building shall be lowered to 14 feet
2. Two (2) parking spaces shall be removed from the northwest corner for foundation plantings, and terminal landscape island. Each shall meet the landscaping requirements of Appendix C, Article VIII.
3. Parallel parking spaces shall be removed to provide adequate fire rescue access.

JAMES C. PAINE, JR.

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Alterations and additions for:
ASD SURFACES
 531 US-1 SOUTH
 NORTH PALM BEACH, FLORIDA



PARKING CALCULATIONS:
 EXISTING 4800 SF. - SHOWROOM AREA
 1 SPACE PER 300 SQ. FT. OF GROSS FLOOR AREA
 $4800 / 300 = 16$ SPACES REQUIRED
 EXISTING 1200 SF. - OFFICE AREA
 1 SPACE PER 100 SQ. FT. OF GROSS FLOOR AREA
 $1200 / 100 = 12$ SPACES REQUIRED
 EXISTING 1000 SF. - WAREHOUSE AREA
 1 SPACE PER 500 SQ. FT. OF GROSS FLOOR AREA
 $1000 / 500 = 2$ SPACES REQUIRED
 PROPOSED 2005 SF. - WAREHOUSE AREA
 1 SPACE PER 500 SQ. FT. OF GROSS FLOOR AREA
 $2005 / 500 = 4$ SPACES REQUIRED
 34 SPACES REQUIRED
 34 SPACES PROVIDED / 1 HANDICAP SPACE

↓
 NORTH
 SITE PLAN - 1"= 20'-0" △ △

REVISIONS:

△	01-20-2022	REVISION PER ZONING COMMENT
△	06-16-2022	REVISION PER ZONING COMMENT



DATE: 11-24-2020
 SCALE: AS NOTED
 FILE BY: A. SLACK
 JOB #: 20-0511

SHEET
SP.1
 1 OF 1 SHEETS

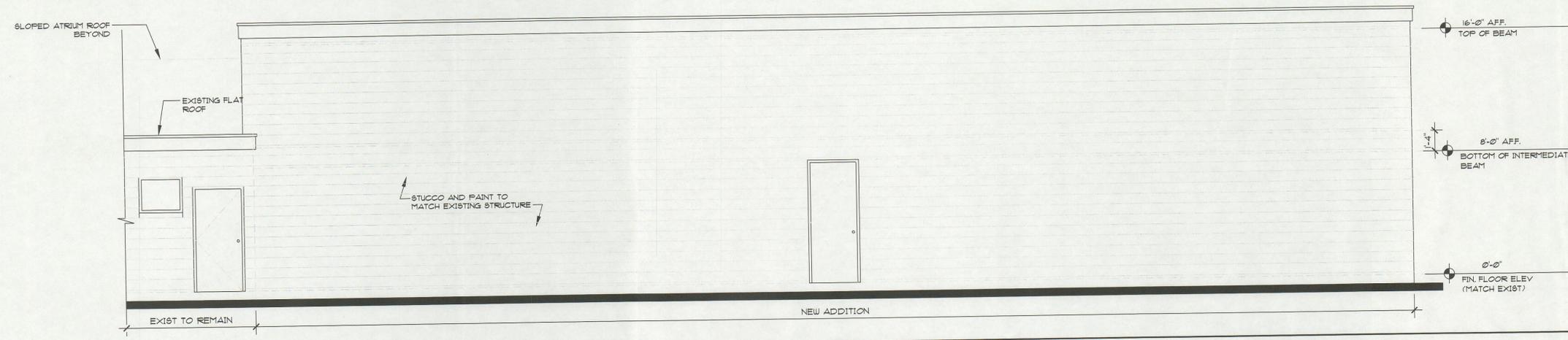
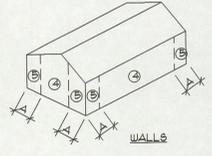
REVISIONS:



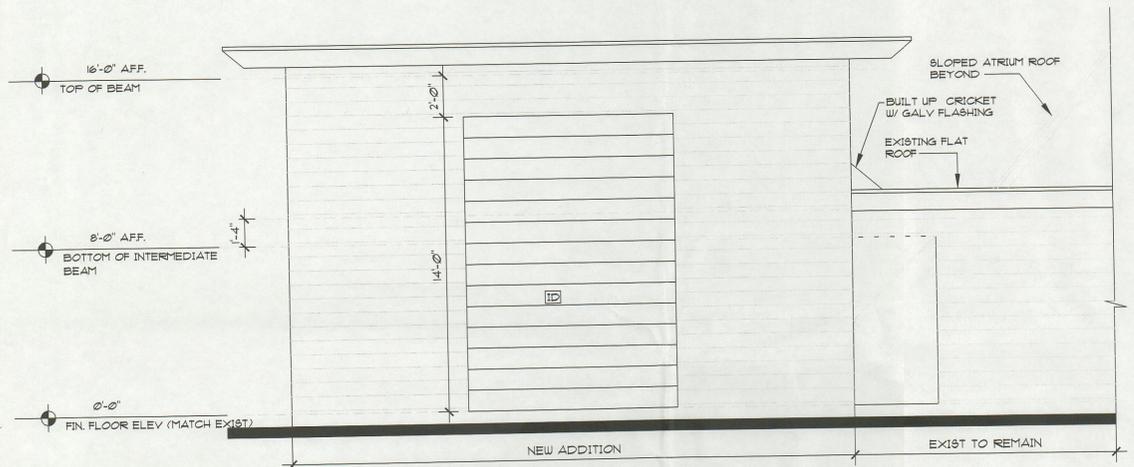
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SCALE: AS NOTED
FILE BY: A. SLACK
JOB #: 20-0511

SHEET
A.4
5 OF 7 SHEETS

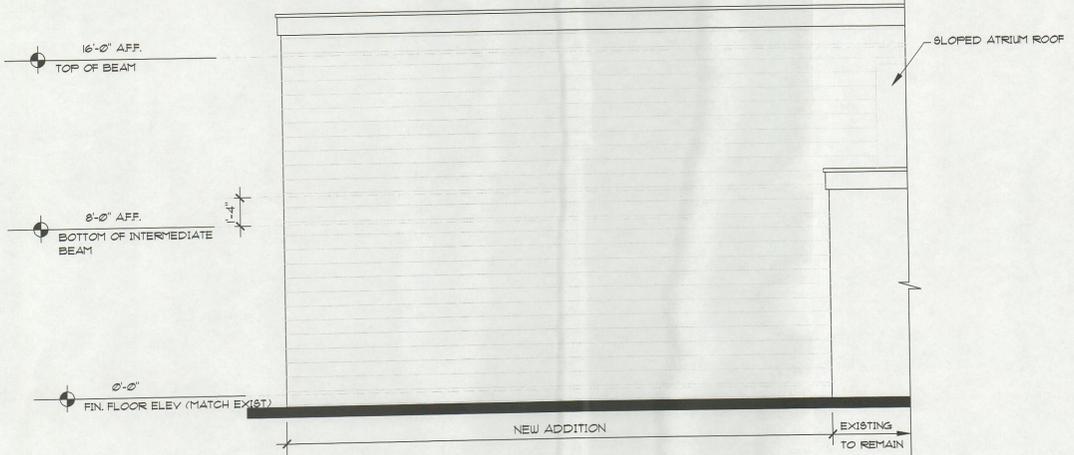
COMPONENT AND CLADDING PRESSURE ZONES	
PER TABLE R301(2) 2021 FBC RES. & PARAGRAPH R301.7.17	
CORNER DISTANCE, Δ = 4 FEET IN ALL CASES	
PRESSURE ZONES	
VLT = 10 MPH VWS = 33 MPH	
INTERIOR ZONE ③	
ID. EFFECTIVE WIND AREA (FEET ²)	
IA UP TO 20' +37.8' -41.0'	
IB 20'-50.8' +36.1' -39.3'	
IC 51'-100.6' +33.3' -37.1'	
ID 100' + s.f. +32.1' -35.3'	
EXTERIOR ZONE ⑤	
ID. EFFECTIVE WIND AREA (FEET ²)	
EA UP TO 20' +37.8' -50.6'	
EB 20'-50.8' +36.1' -47.3'	
EC 51'-100.6' +33.3' -42.7'	
ED 100' + s.f. +32.1' -39.5'	
PER TABLE R301(3) R301.3.3 R301.7(4) & FIG. R301.4) PARA. R301.7	



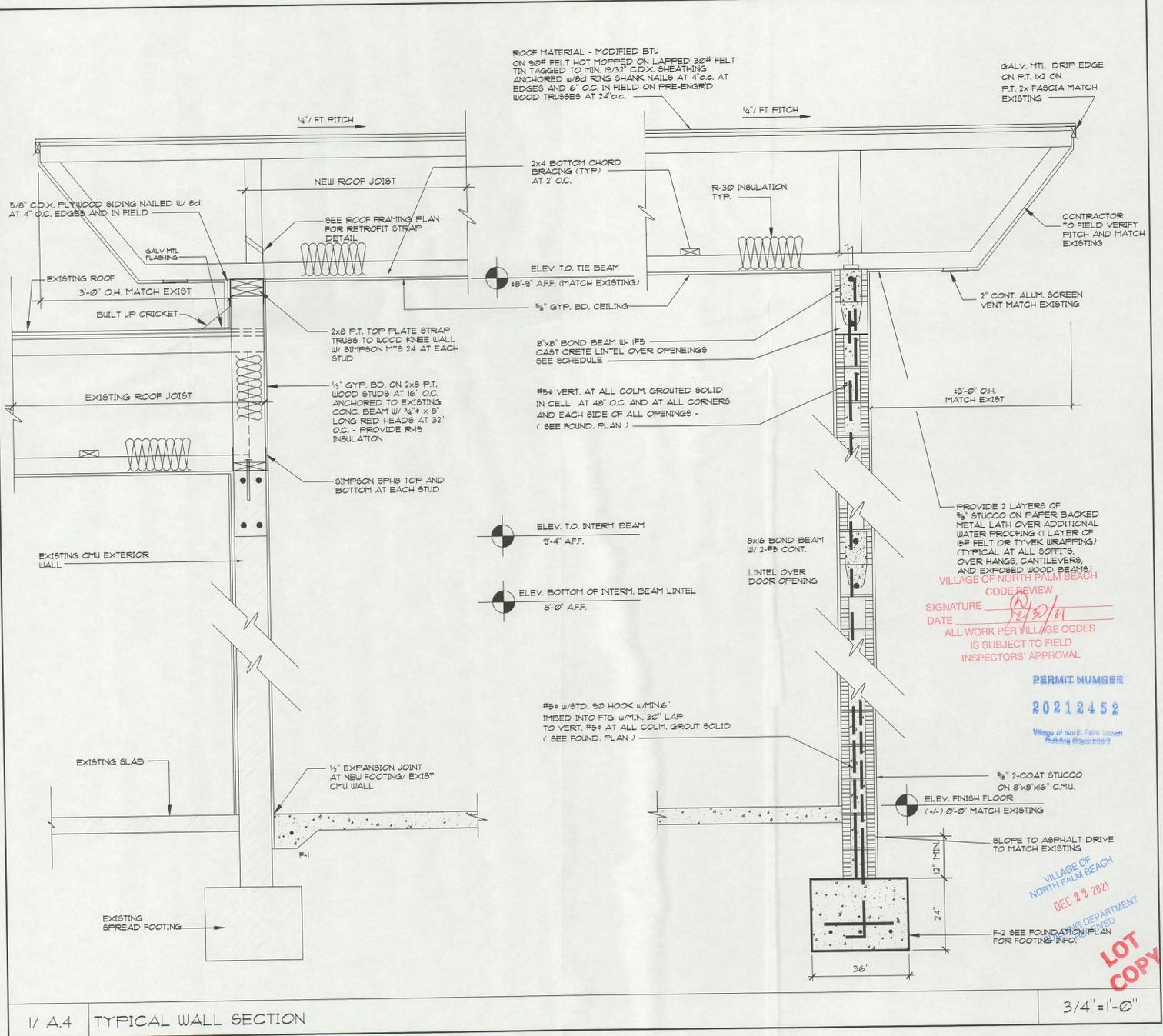
PARTIAL NORTH ELEVATION
1/4" = 1'-0"



PARTIAL WEST ELEVATION
1/4" = 1'-0"



PARTIAL SOUTH ELEVATION
1/4" = 1'-0"



1/ A.4 TYPICAL WALL SECTION

LOT COPY





ASD SURFACES

