



**Village of North Palm Beach
Planning, Zoning and Adjustment Board
REVISED AGENDA
Tuesday, June 3, 2025, at 6:30 pm
Village Hall Council Chambers**

1. Roll Call

Donald Solodar, Chair
Jonathan Haigh, Vice-Chair
Thomas Hogarth, Member
Scott Hicks, Member
Cory Cross, Member
Claudia Visconti, Member
Mark Michels, Member
Village Staff, Attorney, and Councilmember

2. Deletions, Additions or Modifications to the Agenda

3. Public Comment for Non-Agenda Items

4. Approval of Minutes

a. May 6, 2025

5. Reorganization of the Planning Zoning and Adjustment Board

6. Declaration of Ex-parte Communications

7. Quasi-judicial Matters / Public Hearing

The Village Attorney is to swear in all persons speaking.

a. Site Plan and Appearance Review

i. New Business

1. 910 US Highway 1 – (Baer Furniture)

Application from GPN Construction, on behalf of the property owner, Baer Furniture, for Site Plan and Appearance Review approval to install new exterior materials on the north and south façades, and to repaint the

east façade to match the building colors of the west façade, at the property located at 910 US Highway 1.

2. 200 Yacht Club Drive

Application from Urban Design Studio, agent for Robbins NPB, LLC, property owner, for amendment to the approved site plan for the location of utility lines.

b. Public Hearing

i. New Business

None

8. Commission Member Comments

9. Staff Updates

- Next Meeting is July 1, 2025

10. Adjournment

All members of the public are invited to appear at the public hearing, which may be continued from time to time, and be heard with respect to this matter.

If a person decides to appeal any decision made with respect to any matter considered at the subject meeting, he or she will need to ensure that a verbatim record of the proceedings is made, which shall include the testimony and evidence upon which the appeal is to be based (F.S. 286.0105). In accordance with the Americans with Disabilities Act, any person who may require special accommodation to participate in this meeting should contact the Village Clerk's Office at 841-3355 at least 72 hours prior to the meeting date.

This agenda represents the tentative agenda for the scheduled meeting of the Planning Zoning and Adjustment Board. Due to the nature of governmental duties and responsibilities, the Planning Zoning and Adjustment Board reserves the right to make additions to, or deletions from, the items contained in this agenda.



**Village of North Palm Beach
Planning, Zoning and Adjustment Board
MINUTES**

**Tuesday, May 6, 2025, at 6:30 pm
Village Hall Council Chambers**

CALL TO ORDER

Chair Cross called the meeting to order at 6:30 PM.

Roll Call

BOARD MEMBERS PRESENT:

Cory Cross, Chair
Scott Hicks, Vice Chair
Thomas Hogarth, Member
Jonathan Haigh, Member
Donald Solodar, Member
Claudia Visconti, Member
Dr. Mark Michels, Member

VILLAGE STAFF:

Building Director Valentino Perez,
Attorney, Len Rubin,
Councilmember Lisa Interlandi.
Planning Consultants: Lance Lilly and Alex Ahrenholz, AICP

II. Deletions, Additions or Modifications to the Agenda: NONE

III. Public Comment (Non-Agenda Items)

Chris Ryder (118 Dory Rd) criticized the Council's decision not to reappoint Tim Hulihan, praising Mr. Hulihan's longstanding service and preparation.

IV. Approval of Minutes

April 1, 2025, minutes approved unanimously (7-0).

Board Reorganization

New Chair: Donald Solodar

New Vice-Chair: Jonathan Haigh

Member Solodar offered to be Chairperson. Member Hogarth nominated Member Solodar.

Vice Chair Haigh – nominated by Member Hicks.

V. Declaration of Ex-Parte Communications: NONE

VI. Quasi-Judicial Matters / Public Hearings

A. Site Plan & Appearance Reviews

The Village Attorney swore in all persons speaking.

1. 24 Yacht Club Drive (Ports O'Call)

Paul Damigos, Orion Contracting, explained the nature of the project, which was the restoration of building, switching building colors to white, doors to blue, and rails to white.

Member Dr. Michels motions to approve, Member Haigh seconds - all in favor, none opposed. 7-0

2. 9012 Alternate A1A (Valvoline)

Keyshawn Greaves of Southeastern Lighting Solutions (SLS) explained that the subject application is for signage at a Valvoline Instant Oil Change establishment. He stated that the application was mistakenly approved by Village staff and that his client was subsequently informed it would require approval by the Planning, Zoning, and Adjustment Board.

Member Michels motions to approve, Member Visconti seconds - all in favor, none opposed. 7-0

3. 763 Northlake Blvd (Olive Oil of the World)

Lisa Marder of Sign-a-Rama was present on behalf of the property owner. Mr. Lilly explained to the Board that the subject application was located in the Grace Properties Plaza, which had requested a Master Sign Plan at the April PZAB meeting. Mr. Lilly informed the Board of applicants' sign request. The Village Attorney informed the Board that the application does not meet the sign criteria outlined in the proposed Master Sign Plan, which is also on the agenda.

Ms. Marder explained that the property owner has contractual obligations with the Olive Oil of the World tenant and wishes to accept the proposed sign as submitted.

Mr. Hogarth noted that future signs would differ from the proposed sign, as they would need to comply with the proposed Master Sign Plan. Ms. Marder confirmed that all other tenants would be subject to the new Master Sign Plan.

Member Dr. Michels motions to approve, Member Haigh seconds 5-2, passes. (Member Visconti and Hogarth opposed)

4. 761–771 Northlake Blvd (Grace Properties)

Lisa Marder of Sign-a-rama on behalf of property owner present. Item #4 and #5 were combined for discussion purposes. Ms. Marder explained the contents of the Master Sign Plan. The Board mentioned that the Applicant should consider revising the design of the sign at a later time.

Member Cross motions to approve, Member Haigh seconds - all in favor, none opposed. 7-0

5. 775–779 Northlake Blvd (Grace Properties)

Lisa Marder of Sign-a-Rama on behalf of property owner present. Item #4 and #5 were combined. Ms. Marder explained the contents of the Master Sign Plan. The Board mentioned that the Applicant should consider revising the design of the sign at a later time.

Vice Chair Haigh motions to approve, Member Visconti seconds - all in favor, none opposed. 7-0

6. 661 US Highway 1 (Austin Republic)

Tim Lewzader, Ferrin Signs on behalf of owner. Mr. Lilly explained the nature of the application to the Board and mentioned that the subject property is the former Ruth Chris property. Mr. Hogarth questioned whether there would be any additional changes to the aesthetics of the building and whether the Applicant will be modifying the existing monument sign. Mr. Lilly explained that the Applicant would require Board approval for the aesthetic modifications to the property as well as the future monument sign.

Member Hicks motions to approve, Member Dr. Michels seconds - all in favor, none opposed. 7-0

7. 924 US Highway 1 (Paws and Whiskers)

Erick Johnson, Kauff Signs, explained the nature of the application is to replace a sign from a previous business with a new Paws and Whiskers wall sign. Mr. Lilly mentioned that the application has been reviewed by staff and meets the applicable sign regulations.

Member Haigh motions to approve, Member Cross - all in favor, none opposed. 7-0

8. 1201 US Highway 1 (Brooklyn Water Bagel)

Carl Blomgren, representative of Brooklyn Water Bagel, explained that the request is to change the previously approved color of "Brooklyn" in "Brooklyn Water Bagel" from white to red with a red film. Mr. Hogarth questioned whether Brooklyn Water Bagel is considered a national chain. Mr. Lilly explained that the trademark documentation does not specify any particular colors, thus requiring Board review of the sign request.

Member Cross motions to approve, Vice Chair seconds - all in favor, none opposed. 7-0

9. 1300 US Highway 1 (Our Lady of Florida)

George Gentile, 2GHO Landscape Architecture and Planning on behalf of owner, explained that the subject request is to include air conditioner units and new landscaping to screen it from public view. The Board questioned whether the air condition units would meet the necessary FEMA and flood regulations. Mr. Gentile mentioned that the air conditioning units will be mounted on platforms to meet the necessary flood elevations.

Member Haigh motions to approve, Member Visconti seconds - all in favor, none opposed. 7-0

10. 420 US Highway 1 (Shops at Village Square)

Mr. Ahrenholz provided a staff presentation regarding a variance request for the property located at 420 U.S. Highway 1. He explained that the applicant is requesting three (3) sign variances. Staff recommended denial of the request, as it was determined that the application does not meet the hardship criteria required for a variance.

Mark Weber of Preferred Signs, representing property owner Michael Saba, explained that the variance request is driven by a lack of visibility for tenants located at the rear of the plaza.

Board members expressed that they could not support the requested variance. However, they encouraged staff to work with the applicant to explore alternative solutions for signage and improved visibility for the plaza. They also suggested that this issue be considered during the development of the proposed sign code currently in progress.

Public Comment:

Deborah Cross, 2560 Pepperwood Circle, describes several buildings along US 1 that have multi-tenants and do not have multi-tenant signs.

Member Cross motions to deny, Member Hogarth seconds - all in favor, (Mr. Haigh 6-1 opposed)

Commission Member Comments

Member Visconti requested additional graphics in the PowerPoint presentations given to the Board. Member Hogarth also suggested reducing the amount of documentation submitted in the site plan and appearance applications. Staff confirmed that going forward the presentations will include more material for the Board and the applications will be consolidated. Member Hogarth questioned long-term planning service contracts (Chen Moore).

Staff Updates

Next Meeting: June 3, 2025

Adjournment

Meeting adjourned at **8:06 PM**

All members of the public are invited to appear at the public hearing, which may be continued from time to time, and be heard with respect to this matter.

If a person decides to appeal any decision made with respect to any matter considered at the subject meeting, he or she will need to ensure that a verbatim record of the proceedings is made, which shall include the testimony and evidence upon which the appeal is to be based (F.S. 286.0105). In accordance with the Americans with Disabilities Act, any person who may require special accommodation to participate in this meeting should contact the Village Clerk's Office at 841-3355 at least 72 hours prior to the meeting date.

This agenda represents the tentative agenda for the scheduled meeting of the Planning Zoning and Adjustment Board. Due to the nature of governmental duties and responsibilities, the Planning Zoning and Adjustment Board reserves the right to make additions to, or deletions from, the items contained in this agenda.



Subject/Agenda Item:

Site Plan and Appearance Review – 910 US Highway 1

Consideration of Approval: A request from GPN Construction, on behalf of the property owner, Baer Furniture, for Site Plan and Appearance Review approval to install new exterior materials on the north and south façades, and to repaint the east façade to match the building colors of the west façade, at the property located at 910 US Highway 1.

- Quasi-Judicial
- Legislative
- Public Hearing

Originating Department: Planning & Zoning Project Manager	Reviewed By: Lance Lilly, Village Planning Consultant
Attachments: 1. SPAR Application 2. Project Narrative 3. Existing Building Conditions	Public Notice: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required

I. Executive Summary

The Applicant is proposing to modify north and south façades, and to repaint the east façade to match the building colors of the west façade.

II. Site Data

- Existing Use:** Baer Furniture (Department Store)
- Parcel Control Numbers:** 68-43-42-09-08-000-0242
- Existing Future Land Use Designation:** Commercial
- Existing Zoning District:** C-S (Shopping Commercial District)

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Paws and Whiskers (Veterinary Office)	Commercial	Shopping Commercial District (C-S)
<i>South</i>	Marathon Gas Station	High Density Residential	Apartment Dwelling District (R-3)
<i>East</i>	Harbour Towers Condominium	High Density Residential	Apartment Dwelling District (R-3)
<i>West</i>	North Palm Beach Country Club	Commercial	Shopping Commercial District (C-S)

III. Annexation/Zoning History

The subject parcel site is located on US Highway 1, approximately 220 feet north of Yacht Club Drive. The subject site has a future land use designation of Commercial and a zoning designation of Shopping Commercial District (C-S).

IV. Applicable Code Provisions:

Section IV Criteria for Appearance

V. Summary of Proposed Site Plan and Appearance Details:

The petitioner's site plan and appearance documents consist of the following:

1. SPAR Application
2. Project Narrative
3. Existing Building Conditions

VI. Staff Analysis:

Background:

The petition is for Site Plan and Appearance Review approval for the following:

1. Exterior building material and color change.

Baer Furniture consists of a 41,816-square-foot department store building situated on a 1.54-acre property. According to the Applicant, the existing stone fascia on the north and south building façades is deteriorating and presents a safety hazard. The proposed request includes removing the existing stone from the affected façades and replacing it with new materials.

Building Façade

The north and south façades are fronted by heavy vegetation, which will remain undisturbed. The Applicant has indicated that only the deteriorated stone will be removed and replaced with stucco. Specifically, the stone walls will be resurfaced using Masterseal 581 Waterproof Cement and Amerimix AMX 700 Stucco. The proposed stucco finish will match the existing color of the building's front and rear elevations. The building will be painted using Sherwin Williams (SW) 6113 Interactive Cream.

Although minor in scope, the subject application requires PZAB approval due to proposed changes to external architectural features. External architectural features are defined as the architectural style, color, and general arrangement of any portion of a building or structure—including signs and accessory structures—that are designed to be visible from a public street, place, or way, or from adjoining properties.

In this case, the repainting of the rear of the Baer Furniture building is visible from neighboring condominiums, and the changes to the materials on the north and south façades are visible from the public right-of-way. As such, the proposed modifications are subject to appearance review.

Please refer to the attached diagram for specific locations of the proposed color and material applications.

The scope of work does not include any modifications to the existing parking configuration or expansion of the building's square footage.

VIII. Conclusion & Finding of Fact

The Planning, Zoning and Adjustment Board must determine if the Applicant has met the prerequisites for granting Site Plan and Appearance Review approval as outlined in the staff report and Exhibits "A" and "B":

1. SPAR Application
2. Project Narrative
3. Existing Building Conditions

If the Planning, Zoning and Adjustment Board approves the Site Plan and Appearance Review petition, staff suggests the following conditions:

- A. Non-compliance with any of the conditions of approval will result in the Village withholding the issuance of any building permits or Certificates of Occupancy. (Planning and Building)
- B. The conditions of approval shall be binding on the Applicant and its successors in interest and assigns, and a violation of such conditions shall constitute a violation of the Village Code of Ordinances. They may be enforced by the Village as outlined in Article

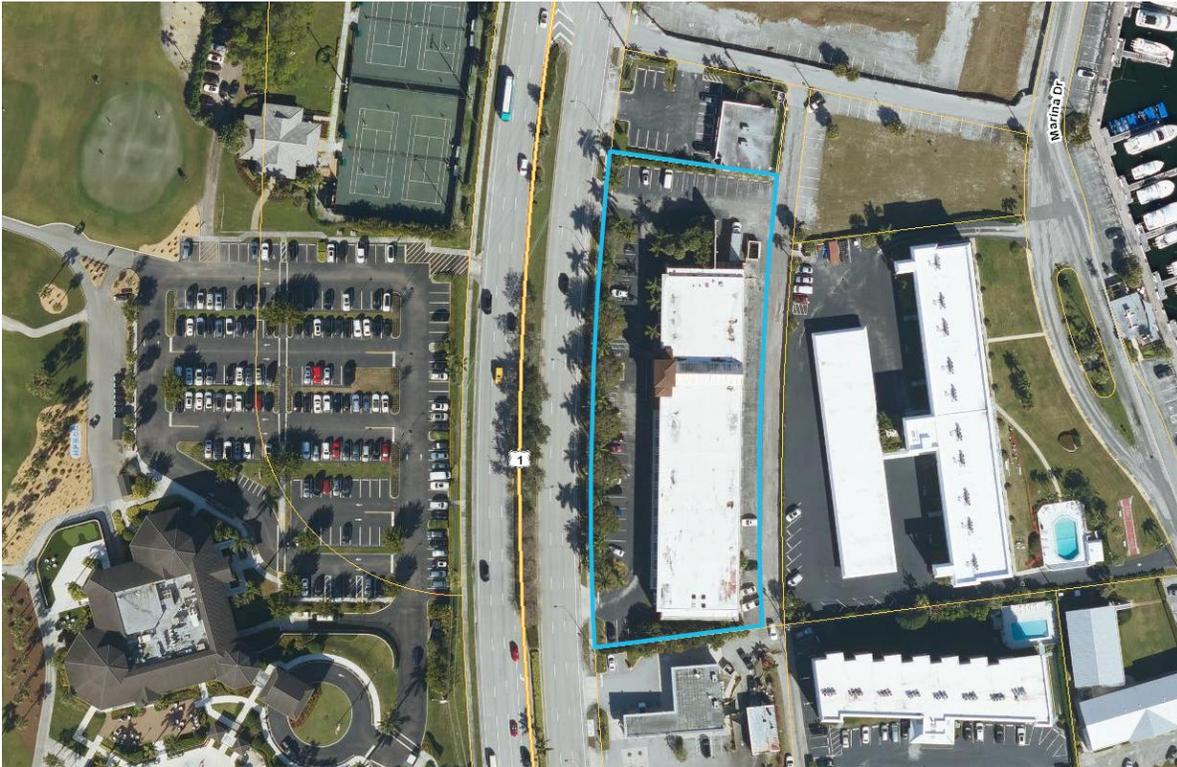
VI, Chapter 2 of the Village Code or as otherwise authorized by law. (Planning and Zoning)

- C. The Applicant shall be bound by all oral and written representations made on the record and as part of the application process, irrespective of whether such representations are included as formal conditions.

PLANNING, ZONING AND ADJUSTMENT BOARD ACTION – June 3, 2025

Exhibit B

Location Map



SITE PLAN AND APPEARANCE REVIEW

To Be Completed by the Village of North Palm Beach Staff			
Received By			
Fee Paid (check Yes or No)	YES		NO
Completed Documentation (see page 2)	YES		NO

DEADLINE: Submission and fee must be received by 3:00 PM on the day of the deadline. Refer to the Community Development Department for submission deadlines. To ensure quality submittal, this project will only be added an agenda when a complete submission has been provided to the department. Incomplete submittals will not be accepted.

**Subject to compliance with the public notice requirements for development applications and approvals set forth in Section 21-3(a) of the Village Code of Ordinances (see page 4)*

The undersigned property owner is applying for a SPR relating to the following (check all that apply):	
Paint Colors/Materials (Sec. 6-31)	<input type="checkbox"/> Site Plan (Major or Minor) [Sec. 6-31]
Signs and Outdoor Displays (Article V)	<input type="checkbox"/> Facade Change (Sec. 6-31)
Fencing (Sec. 45-36)	<input type="checkbox"/> Other External Architectural Feature (Sec. 6-31)
Waiver (C-MU or C-NB zoning district) [Sec. 45-51]	<input type="checkbox"/>

PROPERTY INFORMATION		
Street Address: <i>910 US Highway 1 N Palm Beach, FL</i>	PCN Number: <i>68-43-42-09-08-000-0242</i>	Zoning District: <i></i>
Subdivision: <i></i>	Block: <i>09350/01178</i>	Lot: <i></i>
Representative or Agent's interest in property (Owner, Lessee, Etc): <i>BAER'S Furniture</i>		
Date of Pre-Application Meeting Requested: <i></i>		
Has a previous application been filed? <i>NO</i>		
Project Name: <i>BAER'S Furniture</i>		
Owner's Representative or Agent	Landowner (Owner of Record)	
Business Name (if applicable): <i>GPN Construction</i>	Business Name (if applicable): <i>BAER'S Furniture</i>	
Print Name and Title: <i>Gene Aldwin / Pres</i>	Print Name and Title: <i>JEROME BAER CEO</i>	
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
Date: <i>3-10-25</i>	Date: <i>3-10-25</i>	
Street Address: <i>6278 N Fed Hwy #218</i>	Street Address: <i>1589 NW 12 Ave</i>	
Mailing Address City/ State/ Zip: <i>FT. LAUDERDALE FL 33308</i>	Mailing Address City/ State/ Zip: <i>Pompano Beach FL 33069</i>	
(Property Landowner's Mailing Address City/ State/ Zip)		
Phone Number: <i>954 338 9966</i>	Phone Number: <i>954-289-6978</i>	
Email: <i>GPNconstruction@gmail.com</i>	Email: <i>JBAER@BAERSFurniture.com</i>	

****All information submitted in connection with this application becomes a permanent part of the public records of the Village of North Palm Beach****

DOCUMENTATION CHECKLIST

Provide one (1) electronic copy and two (2) hard copies of the following application materials:

	Completed application with owner and applicant/agent signatures
	Proof of property ownership (in the form of a copy of an original recorded deed or title insurance policy)
	Legal description in Word format, including the PCN number
	Accurate, certified topographic survey of the property and adjacent road(s) with crown spot grades. Elevations must reference NAVD88 Datum.
	Plat Showing property dimensions, easements, lot and block number
	Narrative describing what is being requested, location of proposed work, all use and parking standards per applicable ordinance being addressed, and justification of how the project meets the Village's Appearance Plan (Appendix A)
	Narrative describing the nature of the waiver request, the extent to which it departs from a standard zoning

regulation, and the basis for which it is sought.

Dimensioned, Scaled, and Signed and Sealed Plans	Site Plan showing all site conditions, proposed work, dimensions of all structures, setbacks, and parking. A data table must be included identifying site address, zoning, land use, setbacks, FAR and all other applicable land development regulations.
	Conceptual Civil Plans (Paving, Grading, Drainage; Water & Sanitary Sewer) with calculations, proposed flow direction and amount of drainage flow.
	Landscape Plan including type of irrigation, Florida-Friendly techniques, botanical, and common name of species. Indicate all required and provided quantities and size of landscape materials on the plan. The landscape plan should reflect all easements, utilities, and drainage features. Details and specifications can be provided on a separate sheet.
	Irrigation Plan
	Floor Plan(s) identify the units, unit size and type of rooms, common areas, amenities and required fire escape spaces.
	Traffic Circulation Plan showing ingress and egress for both general and emergency vehicles
	Colored Elevations (minimum of 4 sides), identifying corresponding colors and materials <u>and</u> illustrating screening of roof-mounted mechanical equipment on all sides as completed. Label North, South, East, and West.
	Photometric Plan showing the site lighting and foot-candle calculations for parking areas/buildings
Colored Renderings of the building (minimum of 4 sides)	
Colored Renderings of the building including the context landscaping (minimum of 4 sides)	
Product samples may be brought to the hearing by the applicant.	
Color samples/chips	
Master Sign Concept / Sign Plan if applicable	
Palm Beach County Traffic Concurrency, FDOT Conceptual Driveway Permit, School Concurrency Application	
Financial Responsibility Form	
Digital submittal in PDF format of all of the above (via CD or USB drive)	

Below is a summary of Article VI, Sec. 45-51 (For the complete language, please refer to the Code of Ordinances)

WAIVERS

In the C-MU and C-NB zoning districts, waivers may be requested from certain regulations in this code. An applicant requesting a waiver shall demonstrate that the waiver provides a public benefit, including, by way of example, high quality architectural design, pedestrian amenities, not cost dedication of rights-of-way, construction of public parking, public art or other improvements adjacent to the property, preservation of environmental sensitive lands, provision of public parks and/or open spaces, or mixed uses which reduce impacts on village services.

Below is a summary of Appendix A, Section IV (For the complete language, please refer to the Code of Ordinances)

RELATIONSHIP OF BUILDINGS TO SITE

The site shall be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas.

Site planning in which setbacks and yards are in excess of zoning restrictions is encouraged to provide an interesting relationship between buildings

The height and scale of each building shall be compatible with its site and adjoining buildings.

Newly installed utility services, and service revisions necessitated by exterior alterations, shall be underground.

In relating buildings to site, the provisions of the Zoning Ordinance in regard to bulk regulations, standards, and off-street parking shall be part of this criteria. This shall also apply to subsection B which follows.

RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA

Adjacent buildings of different architectural styles shall be made compatible by such means as screens, site breaks, and materials.

Attractive landscape transition to adjoining properties shall be provided.

Harmony in texture, lines, and masses is required. Monotony shall be avoided.

Buildings shall have similar scale to those in the surrounding area.

LANDSCAPE AND SITE TREATMENT

Landscape elements included in these criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.

The provisions of the North Palm Beach Village Code, Chapter 41, and those portions of the Village Code which

directly affect appearance, shall be part of the criteria of this subsection.

BUILDING DESIGN

Architectural style is not restricted—evaluation of appearance of a project shall be based on quality of its design and relationship to surroundings.

Buildings shall have good scale and be in harmonious conformance with permanent neighboring development.

Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings. Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those which are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways and adjoining properties. Inappropriate materials and methods, and those which will produce inconsistency with the structure of the building, shall be avoided. Materials shall be of durable quality. In any design in which the structural frame is exposed to view, the structural materials shall meet the other criteria for materials.

Building components—such as windows, doors, eaves, and parapets—shall have good proportions and relationship to one another.

Colors shall be harmonious, with bright or brilliant colors used only for accent.

Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building, or they shall be located so as not to be visible from any public ways, including waterways, service alleys, and adjoining properties.

Exterior lighting shall be part of the architectural concept. Fixtures, standards and all exposed accessories shall be harmonious with building design.

Refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from public ways, including waterways, service alleys, and adjoining properties, using materials as stated in criteria for equipment screening.

Monotony of design in single or multiple building projects shall be avoided. Variation of detail, form, and siting shall be used to provide visual interest. In multiple building projects, variable siting or individual buildings may be used to prevent a monotonous appearance.

Inappropriate, incompatible, bizarre, and exotic designs shall be avoided.

The provisions of the North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.

SIGNS

Wall signs shall be part of the architectural concept. Size, color, lettering, location, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings. Signs shall have good proportions.

Ground signs shall be designed to be compatible with the architecture of the building. The same criteria applicable to wall signs shall apply to ground signs.

Identification signs of a prototype design shall conform to the criteria for building and ground signs.

Materials used in signs shall have good architectural character and be harmonious with building design and surrounding landscape.

Every sign shall have good scale in its design and in its visual relationship to buildings and surroundings.

Colors shall be used harmoniously and with restraint. Excessive brightness and brilliant colors shall be avoided. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged so that light source is shielded from view.

The sign provisions of the North Palm Beach Village Code shall be part of the criteria of this subsection.

MISCELLANEOUS STRUCTURES AND STREET HARDWARE

1. Miscellaneous structures include any structures, other than buildings, visible to view from any public way or ways. Street hardware includes all objects not commonly referred to as structures and located in streets and public ways and outside of buildings. (See Section VIII, DEFINITIONS)

2. Miscellaneous structures and street hardware located on private property shall be designed to be part of the architectural concept of design and landscape. Materials shall be compatible with buildings, scale shall be good, colors shall be in harmony with buildings and surroundings, and proportions shall be attractive.

3. Miscellaneous structures and street hardware located in public ways and other public property shall be harmonious with design of adjacent buildings and other structures and Village landscape.

4. Lighting in connection with miscellaneous structures and street hardware shall meet the criteria applicable to site, landscape, buildings, and signs.

5. The provisions of the Village of North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.

MAINTENANCE—PLANNING AND DESIGN FACTORS

Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.

Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.

Provision for washing and cleaning of buildings and structures, and control of dirt and refuse, shall be included in the design. Such configurations that tend to catch and accumulate debris, leaves, trash, dirt, and rubbish shall be avoided.

Public notice requirements for development applications and approvals [Sec. 21-3(a)]

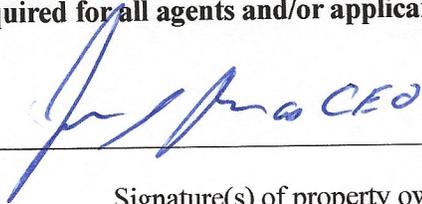
	Mail*	Newspaper*	Post*	Mail*	Newspaper	Post*
Rezoning	10	7	15	10	Statutory notice for ordinance adoption	15
Large-scale Comprehensive Plan Amendment	10	7	15	10	Statutory notice for ordinance adoption	15
Small-scale Comprehensive Plan Amendment	10	7	15	10	Statutory notice for ordinance adoption	15
Variance**	7	7	10	N/A	N/A	N/A
Waiver						
Planned Unit Development	10	7	15	10	Statutory notice for ordinance adoption	15
Special Exception Use	10	7	15	10	Notice of public hearing or statutory notice for ordinance adoption (if within a PUD)	15

* Number of calendar days prior to date of public hearing.

** The notice requirements for variances shall include all variances relating to the zoning code (Chapter 45), the dock and waterway regulations (Chapter 5), and the sign regulations (Chapter 6).

REQUIRED SIGNATURES

By signing below, the undersigned certifies that I have read and understand the requirements for my property and that all of the information contained in this application and all documents submitted are true to the best of my knowledge and belief. Furthermore, I understand that the application (and all attachments) become part of the official records of the Village of North Palm Beach and will not be returned and that all review fees are non-refundable. **Note: Property owner signature REQUIRED if statement of authority and/or written consent is not attached. Statement of authority and/or written consent is required for all agents and/or applicants from the property owner.**



Jerome I Baer

2-12-25

Signature(s) of property owner(s)

Print Name

Date

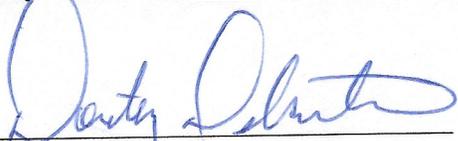
The foregoing was sworn to, subscribed and acknowledged before me this February 12, 2025
(Date)

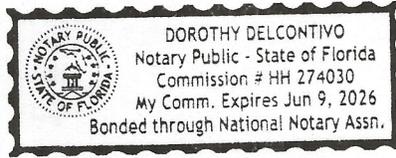
By means of physical presence / online notarization

by: Jerome I Baer

(Name of Person Making the Statement)

who is personally known to me or who has produced _____ as identification
and


(Signature of Notary)



Signature(s) of applicant/agent

Print Name

Date

The foregoing was sworn to, subscribed and acknowledged before me this _____
(Date)

By means of physical presence / online notarization

by: _____
(Name of Person Making the Statement)

who is personally known to me _____ or who has produced _____ as identification
and

(Signature of Notary)

GPN Construction

6278 North Federal Hwy #218 . Ft. Lauderdale, Fl 33308
Phone #954-338-9966

Baer's Furniture
910 US Highway 1
N. Palm Beach, Fl
Permit App 2025691

Scope of Work

- 1-Remove deteriorated stone facia falling off the building on the North and South walls.
- 2-Prep walls includes: Fiberglass wick, 5/8" PVC expansions, bonding edging, Masterseal 581 Waterproof cement and Amerimix AMX 700 stucco.
- 3- Paint with Loxon stucco primer and Loxon XP waterproofing paint Color SW 6113 to match front and rear of building (color as approved under permit #20212154.
- 4-All construction debris to be removed daily.
- 5- Pictures of areas to be repaired as attached.



Gene Valdin
GPN Construction

Google Maps

#1



Baer's Furniture
910 US Hwy 1
North Palm Beach, Fl
Aerial Photo

#2

Google Maps



Baer's Furniture
910 US Hwy 1
North Palm Beach, FL
North Side Wall

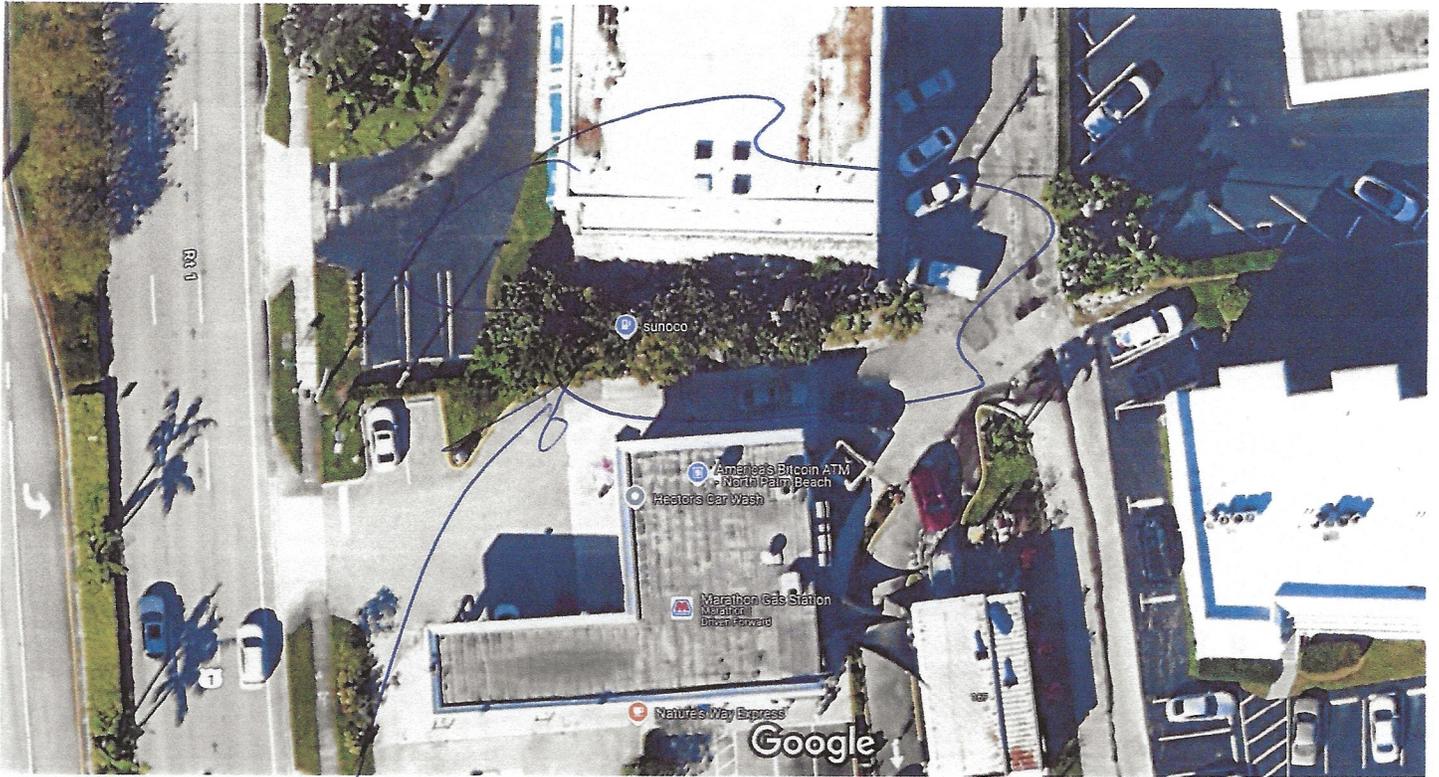
Scope of work:

- 1-Remove existing stone and apply stucco
- 2-Stucco finishes to match front and rear of the bldg.
- 3-Paint with SW 6113 Interactive Cream to match front and rear elevations
- 4-Protect all landscaping.
- 4-Clean debris daily

#2-A

North wall





Baer's Furniture
910 US Hwy 1
North Palm Beach, FL
South Side Wall

Scope of work:

- 1-Remove existing stone and apply stucco
- 2-Stucco finishes to match front and rear of the bldg.
- 3-Paint with SW 6113 Interactive Cream to match front and rear elevations
- 4-Protect all landscaping.
- 4-Clean debris daily

#3-A

South Wall



#4



SW 6113

Interactive Cream

Interior/Exterior

45

FRONT ELEVATION



#6

REAR ELEVATION



#7



Baer's Furniture
910 US Highway 1
N. Palm Beach, FL
Permit App 2025691

Photo of side wall stone separation.



Subject/Agenda Item:

Site Plan and Appearance Review - 200 Yacht Club Drive

Consideration of Approval: A request from Urban Design Studio, agent for Robbins NPB, LLC, property owner, for amendment to the approved site plan for the location of utility lines.

Quasi-Judicial

Legislative

Public Hearing

Originating Department: Planning & Zoning Project Manager	Reviewed By: Alex Ahrenholz, AICP (JMorton Planning and Landscape Architecture)
Attachments: <ul style="list-style-type: none">• Applicant’s Justification Statement and Application• Site Plan• Landscape Plan• Engineering Plan	Public Notice: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required

Executive Summary

The Applicant is proposing to amend the previously approved site, landscape, and engineering plans to show that the existing utility lines along the eastern alleyway will remain above ground. According to the Applicant’s justification statement, the label indicating that the lines would be buried underground was included in error, as burying them would affect the power supply to adjacent residents.

There will be no changes to any site elements visible from US Highway 1. Additionally, there are no changes to the approved buildings, site circulation, or overall configuration. Staff has concluded that the updated site plan meets all requirements of the Village Code of Ordinances and is therefore recommending **approval**.

I. Site Data

Existing Use: Vacant (Approved Multifamily and Retail)
Parcel Control Numbers: 68-43-42-09-02-000-0010;
68-43-42-09-01-070-0140;
68-43-42-09-01-070-0121
Parcel Size: 4.09 Acres (178,160 sq. ft.)
Existing Future Land Use Designation: Commercial
Existing Zoning District: Commercial Mixed Use (C-MU)
Site Location: Southeast corner of Yacht Club Drive and US
Highway One - See Exhibit A for aerial map

Table 1: Surrounding Existing Land Use, Future Land Use, Zoning District:			
Direction	Existing Land Use	Future Land Use	Zoning District
<i>North</i>	Gas Station/ Multifamily	Commercial/ High Density Residential	Commercial Shopping C-S, R-3 Apartment Dwelling District
<i>South</i>	Office	Commercial	Commercial Mixed-Use (C-MU)
<i>East</i>	Multifamily and Single Family Residential	High Density Residential /Low-density Residential	R-3 Apartment Dwelling District/ R-1 Single Family
<i>West</i>	NPB Country Club	Public	P-Public District

II. Applicable Code Provisions:

Sec. 45-89 Landscape screening
Sec. 25-2 Swimming Pool Setbacks

III. Summary of Provided Documents:

The applicant has submitted an application for site plan and appearance review, including amendments to the site, landscape and engineering plans. The applicant has also submitted a project narrative statement describing the change.

1. Applicant’s Justification Statement and Application
2. Site Plan
3. Landscape Plan
4. Engineering Plan

IV. Staff Analysis:

Background:

The 200 Yacht Club development was approved by the Village of North Palm Beach Planning Commission (now the Planning, Zoning, and Appearance Board) on December 1, 2023. The development order included 34 conditions of approval.

The only condition relevant to the current application is the following:

Condition T: All new utilities shall be provided underground. Appurtenances to these systems which require above-ground installation must be effectively screened from view. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the Village. (*Engineering and Planning and Zoning*)

The proposed utility line running east–west through the site will be installed underground, consistent with this condition. The existing utility line along the alleyway is exempt from this requirement.

Compliance with Code of Ordinances:

Sec.45-89 Landscape Requirements for Off-Street Parking Lots

The applicant has already provided shade trees that meet the minimum landscape buffering requirements along most of the alleyway to screen the parking lot. Shorter plant species were previously approved due to limitations created by the width and grade separation between the parking area and the alley. These species also comply with Florida Power & Light (FPL) clearance requirements for overhead wires, so they are able to remain in place as the lines remain. The only trees addressed in this application are the larger Live Oaks, which are being relocated to the pool area.

The Code requires one canopy tree per 30 linear feet, or 18 trees total. The applicant is providing the equivalent of 26 trees: 17 canopy trees and 27 palms, which exceeds the minimum requirement.

Sec. 25-2 Swimming Pool Setbacks

The swimming pool located in the southeast corner of the approved site plan has been rotated to better accommodate the relocated Live Oaks. The original pool location was set back 34 feet from the east property line; the revised plan proposes a 22-foot setback.

The minimum required setback is 7.5 feet, with an additional 2.5-foot walkway around the perimeter. The revised pool location complies with both of these requirements.

V. Conclusion & Finding of Fact

The Planning, Zoning, and Adjustment Board must determine whether the applicant meets the intent of the Village’s Appearance Plan and minimum requirements of the Code of Ordinances.

Based on the analysis above, staff recommends **approval** of the site plan and appearance review request submitted to the Planning, Zoning, and Adjustment Board. If the Board approves the application, staff recommends that no additional conditions of approval be imposed.

PLANNING, ZONING AND ADJUSTMENT BOARD ACTION – June 3, 2025

Exhibit A
Location Map

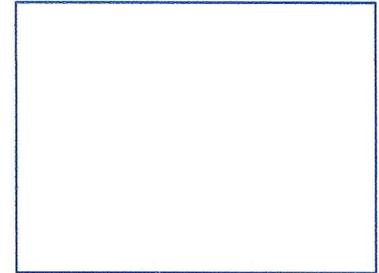
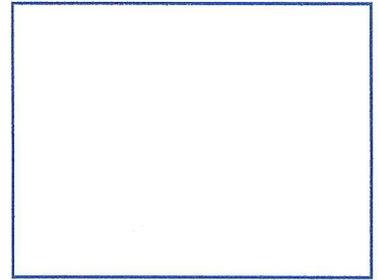




The Village of North Palm Beach
 Community Development Department
 Phone: (561) 841-3365 • Email: cdplanner@village-npb.org
 701 U.S. Highway 1, Suite 100 • North Palm Beach • FL 33408
 www.village-npb.org

SITE PLAN AND APPEARANCE REVIEW

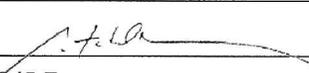
To Be Completed by the Village of North Palm Beach Staff				
Received By				
Fee Paid (check Yes or No)	YES		NO	
Completed Documentation (see page 2)	YES		NO	



DEADLINE: Submission and fee must be received by 3:00 PM on the day of the deadline. Refer to the Community Development Department for submission deadlines. To ensure quality submittal, this project will only be added an agenda when a complete submission has been provided to the department. Incomplete submittals will not be accepted.

**Subject to compliance with the public notice requirements for development applications and approvals set forth in Section 21-3(a) of the Village Code of Ordinances (see page 4)*

The undersigned property owner is applying for a SPR relating to the following (check all that apply):			
Paint Colors/Materials (Sec. 6-31)	x	Site Plan (Major or Minor) [Sec. 6-31]	
Signs and Outdoor Displays (Article V)		Facade Change (Sec. 6-31)	
Fencing (Sec. 45-36)		Other External Architectural Feature (Sec. 6-31)	
Waiver (C-MU or C-NB zoning district) [Sec. 45-51]			

PROPERTY INFORMATION		
Street Address: See attached property list	PCN Number: <small>See attached property list</small>	Zoning District: C-MU
Subdivision: See attached legal description	Block: <small>See attached legal description</small>	Lot: <small>See attached legal description</small>
Representative or Agent's interest in property (Owner, Lessee, Etc):	Owner	
Date of Pre-Application Meeting Requested:	2/27/25 Discussion with Village Manager	
Has a previous application been filed?	Yes	
Project Name: 200 Yacht Club Drive		
Owner's Representative or Agent	Landowner (Owner of Record)	
Business Name (if applicable): Urban Design Studio	Business Name (if applicable): ROBBINS NPB, LLC	
Print Name and Title: Lentzy Jean-Louis - Planner	Print Name and Title: Mitchell Robbins - President	
Signature:	Signature: 	
Date:	Date: 4/16/25	
Street Address: 610 Clematis St Suite CU02	Street Address: 300 1st Avenue Suite 202	
Mailing Address City/ State/ Zip: West Palm Beach, FL , 33401	Mailing Address City/ State/ Zip: NEEDHAM, MA 02494	
Phone Number: 561-366-1100	Phone Number: See Agent	
Email: ljean-louis@udsflorida.com	Email: See Agent	

All information submitted in connection with this application becomes a permanent part of the public records of the Village of North Palm Beach

DOCUMENTATION CHECKLIST

Provide one (1) electronic copy and two (2) hard copies of the following application materials:

	Completed application with owner and applicant/agent signatures
	Proof of property ownership (in the form of a copy of an original recorded deed or title insurance policy)
	Legal description in Word format, including the PCN number
	Accurate, certified topographic survey of the property and adjacent road(s) with crown spot grades. Elevations must reference NAVD88 Datum.
	Plat Showing property dimensions, easements, lot and block number
	Narrative describing what is being requested, location of proposed work, all use and parking standards per applicable ordinance being addressed, and justification of how the project meets the Village's Appearance Plan (Appendix A)
	Narrative describing the nature of the waiver request, the extent to which it departs from a standard zoning regulation, and the basis for which it is sought.
Dimensioned, Scaled, and Signed and Sealed Plans	Site Plan showing all site conditions, proposed work, dimensions of all structures, setbacks, and parking. A data table must be included identifying site address, zoning, land use, setbacks, FAR and all other applicable land development regulations.
	Conceptual Civil Plans (Paving, Grading, Drainage; Water & Sanitary Sewer) with calculations, proposed flow direction and amount of drainage flow.
	Landscape Plan including type of irrigation, Florida-Friendly techniques, botanical, and common name of species. Indicate all required and provided quantities and size of landscape materials on the plan. The landscape plan should reflect all easements, utilities, and drainage features. Details and specifications can be provided on a separate sheet.
	Irrigation Plan
	Floor Plan(s) identify the units, unit size and type of rooms, common areas, amenities and required fire escape spaces.
	Traffic Circulation Plan showing ingress and egress for both general and emergency vehicles
	Colored Elevations (minimum of 4 sides), identifying corresponding colors and materials and illustrating screening of roof-mounted mechanical equipment on all sides as completed. Label North, South, East, and West.
	Photometric Plan showing the site lighting and foot-candle calculations for parking areas/buildings
	Colored Renderings of the building (minimum of 4 sides)
	Colored Renderings of the building including the context landscaping (minimum of 4 sides)
	Product samples may be brought to the hearing by the applicant.
	Color samples/chips
	Master Sign Concept / Sign Plan if applicable
	Palm Beach County Traffic Concurrency, FDOT Conceptual Driveway Permit, School Concurrency Application
	Financial Responsibility Form
	Digital submittal in PDF format of all of the above (via CD or USB drive)

Below is a summary of Article VI, Sec. 45-51 (For the complete language, please refer to the Code of Ordinances)

WAIVERS

In the C-MU and C-NB zoning districts, waivers may be requested from certain regulations in this code. An applicant requesting a waiver shall demonstrate that the waiver provides a public benefit, including, by way of example, high quality architectural design, pedestrian amenities, not cost dedication of rights-of-way, construction of public parking, public art or other improvements adjacent to the property, preservation of environmental sensitive lands, provision of public parks and/or open spaces, or mixed uses which reduce impacts on village services.

Below is a summary of Appendix A, Section IV (For the complete language, please refer to the Code of Ordinances)

RELATIONSHIP OF BUILDINGS TO SITE

The site shall be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas.

Site planning in which setbacks and yards are in excess of zoning restrictions is encouraged to provide an interesting

relationship between buildings
The height and scale of each building shall be compatible with its site and adjoining buildings.
Newly installed utility services, and service revisions necessitated by exterior alterations, shall be underground.
In relating buildings to site, the provisions of the Zoning Ordinance in regard to bulk regulations, standards, and off-street parking shall be part of this criteria. This shall also apply to subsection B which follows.
RELATIONSHIP OF BUILDING AND SITE TO ADJOINING AREA
Adjacent buildings of different architectural styles shall be made compatible by such means as screens, site breaks, and materials.
Attractive landscape transition to adjoining properties shall be provided.
Harmony in texture, lines, and masses is required. Monotony shall be avoided.
Buildings shall have similar scale to those in the surrounding area.
LANDSCAPE AND SITE TREATMENT
Landscape elements included in these criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.
The provisions of the North Palm Beach Village Code, Chapter 41, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.
BUILDING DESIGN
Architectural style is not restricted—evaluation of appearance of a project shall be based on quality of its design and relationship to surroundings.
Buildings shall have good scale and be in harmonious conformance with permanent neighboring development.
Materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings. Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those which are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways and adjoining properties. Inappropriate materials and methods, and those which will produce inconsistency with the structure of the building, shall be avoided. Materials shall be of durable quality. In any design in which the structural frame is exposed to view, the structural materials shall meet the other criteria for materials.
Building components—such as windows, doors, eaves, and parapets—shall have good proportions and relationship to one another.
Colors shall be harmonious, with bright or brilliant colors used only for accent.
Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building, or they shall be located so as not to be visible from any public ways, including waterways, service alleys, and adjoining properties.
Exterior lighting shall be part of the architectural concept. Fixtures, standards and all exposed accessories shall be harmonious with building design.
Refuse and waste removal areas, service yards, storage yards, and exterior work areas shall be screened from public ways, including waterways, service alleys, and adjoining properties, using materials as stated in criteria for equipment screening.
Monotony of design in single or multiple building projects shall be avoided. Variation of detail, form, and siting shall be used to provide visual interest. In multiple building projects, variable siting or individual buildings may be used to prevent a monotonous appearance.
Inappropriate, incompatible, bizarre, and exotic designs shall be avoided.
The provisions of the North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.
SIGNS
Wall signs shall be part of the architectural concept. Size, color, lettering, location, and arrangement shall be harmonious with the building design, and shall be compatible with signs on adjoining buildings. Signs shall have good proportions.
Ground signs shall be designed to be compatible with the architecture of the building. The same criteria applicable to wall signs shall apply to ground signs.
Identification signs of a prototype design shall conform to the criteria for building and ground signs.
Materials used in signs shall have good architectural character and be harmonious with building design and surrounding landscape.

Every sign shall have good scale in its design and in its visual relationship to buildings and surroundings.
Colors shall be used harmoniously and with restraint. Excessive brightness and brilliant colors shall be avoided. Lighting shall be harmonious with the design. If external spot or floor lighting is used, it shall be arranged so that light source is shielded from view.
The sign provisions of the North Palm Beach Village Code shall be part of the criteria of this subsection.
MISCELLANEOUS STRUCTURES AND STREET HARDWARE
1. Miscellaneous structures include any structures, other than buildings, visible to view from any public way or ways. Street hardware includes all objects not commonly referred to as structures and located in streets and public ways and outside of buildings. (See Section VIII, DEFINITIONS)
2. Miscellaneous structures and street hardware located on private property shall be designed to be part of the architectural concept of design and landscape. Materials shall be compatible with buildings, scale shall be good, colors shall be in harmony with buildings and surroundings, and proportions shall be attractive.
3. Miscellaneous structures and street hardware located in public ways and other public property shall be harmonious with design of adjacent buildings and other structures and Village landscape.
4. Lighting in connection with miscellaneous structures and street hardware shall meet the criteria applicable to site, landscape, buildings, and signs.
5. The provisions of the Village of North Palm Beach Village Code in regard to bulk regulations and standards, and those portions of the Village Code which directly affect appearance, shall be part of the criteria of this subsection.
MAINTENANCE—PLANNING AND DESIGN FACTORS
Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, must be conducive to easy maintenance and upkeep.
Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against the elements, neglect, damage and abuse.
Provision for washing and cleaning of buildings and structures, and control of dirt and refuse, shall be included in the design. Such configurations that tend to catch and accumulate debris, leaves, trash, dirt, and rubbish shall be avoided.

Public notice requirements for development applications and approvals [Sec. 21-3(a)]						
	Mail*	Newspaper*	Post*	Mail*	Newspaper	Post*
<i>Rezoning</i>	10	7	15	10	Statutory notice for ordinance adoption	15
<i>Large-scale Comprehensive Plan Amendment</i>	10	7	15	10	Statutory notice for ordinance adoption	15
<i>Small-scale Comprehensive Plan Amendment</i>	10	7	15	10	Statutory notice for ordinance adoption	15
<i>Variance**</i>	7	7	10	N/A	N/A	N/A
<i>Waiver</i>						
<i>Planned Unit Development</i>	10	7	15	10	Statutory notice for ordinance adoption	15
<i>Special Exception Use</i>	10	7	15	10	Notice of public hearing or statutory notice for ordinance adoption (if within a PUD)	15

* Number of calendar days prior to date of public hearing.

** The notice requirements for variances shall include all variances relating to the zoning code (Chapter 45), the dock and waterway regulations (Chapter 5), and the sign regulations (Chapter 6).

REQUIRED SIGNATURES

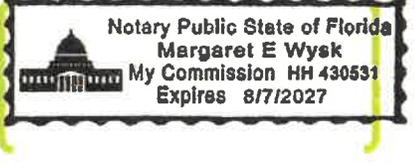
By signing below, the undersigned certifies that I have read and understand the requirements for my property and that all of the information contained in this application and all documents submitted are true to the best of my knowledge and belief. Furthermore, I understand that the application (and all attachments) become part of the official records of the Village of North Palm Beach and will not be returned and that all review fees are non-refundable. **Note: Property owner signature REQUIRED if statement of authority and/or written consent is not attached. Statement of authority and/or written consent is required for all agents and/or applicants from the property owner.**

[Signature] Mitchell Robbins 4/16/25
Signature(s) of property owner(s) Print Name Date

The foregoing was sworn to, subscribed and acknowledged before me this 4/16/2025
(Date)

By means of physical presence / online notarization
by: Mitchell Robbins
(Name of Person Making the Statement)

who is personally known to me or who has produced _____ as identification and

[Signature] 
(Signature of Notary)

[Signature] Lentzy Jean Louis 4/28/25
Signature(s) of applicant/agent Print Name Date

The foregoing was sworn to, subscribed and acknowledged before me this 4-28-2025
(Date)

By means of ~~physical presence~~ online notarization
by: Lentzy Jean-Louis
(Name of Person Making the Statement)

who is personally known to me or who has produced _____ as identification and

[Signature] 
(Signature of Notary)



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
ROBBINS NPB LLC

Filing Information

Document Number L20000027638
FEI/EIN Number 84-4624726
Date Filed 01/22/2020
State FL
Status ACTIVE

Principal Address

300 1st Avenue
Suite 202
NEEDHAM, MA 02494

Changed: 03/10/2025

Mailing Address

300 1st Avenue
Suite 202
NEEDHAM, MA 02494

Changed: 03/10/2025

Registered Agent Name & Address

FRANK, WEINBERG & BLACK, P.L.
1875 NW CORPORATE BLVD, STE 100
ATTN: ANDREW D. LEVY, ESQ.
BOCA RATON, FL 33431

Authorized Person(s) Detail

Name & Address

Title MBR

ROBBINS, MITCHELL
300 1st Avenue
Suite 202
NEEDHAM, MA 02494

Annual Reports

Report Year	Filed Date
2023	04/13/2023
2024	04/09/2024
2025	03/10/2025

Document Images

03/10/2025 -- ANNUAL REPORT	View image in PDF format
04/09/2024 -- ANNUAL REPORT	View image in PDF format
04/13/2023 -- ANNUAL REPORT	View image in PDF format
04/14/2022 -- ANNUAL REPORT	View image in PDF format
04/05/2021 -- ANNUAL REPORT	View image in PDF format
01/22/2020 -- Florida Limited Liability	View image in PDF format

200 Yacht Club Parcel Information



PCN's and Property Owner Information

- A:** 68-43-42-09-02-000-0010
ROBBINS NPB LLC
200 YACHT CLUB DR
North Palm Beach, FL 33408
- B:** 68-43-42-09-01-070-0140
ROBBINS NPB LLC
884 US HIGHWAY 1
North Palm Beach, FL 33408
- C:** 68-43-42-09-01-070-0121
ROBBINS NPB LLC
872 US HIGHWAY 1
North Palm Beach, FL 33408

200 YACHT CLUB DRIVE JUSTIFICATION STATEMENT

Site Plan & Waiver Application

Initial Submittal: April 28, 2025



Urban Planning and Design
Landscape Architecture
Communication Graphics

REQUEST SUMMARY

On behalf of the applicant, Robbins NPB LLC, Urban Design Studio (UDS) (hereinafter referred to as the agent) has prepared and hereby respectfully submits a Minor Site Plan Amendment application for the +/-4.09 acres of property that consists of three contiguous parcels located at the southeast corner of Yacht Club Drive and US Highway One. The subject property is located within the municipal boundaries of The Village of North Palm Beach.

The subject property is comprised of three (3) parcel control numbers (PCN) (as assigned by the Property Appraiser of PBC):

68-43-42-09-02-000-0010 – Parcel A
68-43-42-09-01-070-0140 – Parcel B
68-43-42-09-01-070-0121 – Parcel C

The subject property is currently within the following FLU designations and Zoning districts based on the newly enacted Appearance Plan

FLU Designation: Commercial

Zoning Districts: US-1 Mixed Use District (C-MU)

BACKGROUND

The subject property is comprised of three parcels; two of which are vacant, and the middle parcel which contains a single-story corporate office building. The northern parcel shows the vacant shell of what used to be a restaurant and parking lot. The southernmost parcel is completely vacant.

Project History

On December 1st, 2023, the Village of North Palm Beach Planning Commission approved a Development Order for Site Plan and Appearance approval for a mixed-use project with waivers to combine three parcels together to construct 147 multi-family dwelling units utilizing the workforce housing density bonus, and 1,975 square feet of commercial space.

SURROUNDING USES

Below is a description of the uses on the adjacent properties (or those on the other side of abutting R-O-W's) to the north, south, east and west of the overall property. Note that the acreages, uses, number of units, etc. listed below are from the Property Appraiser of Palm Beach County's web site.

North:

To the north of the subject property there are two parcels and the Yacht Club Drive R-O-W. The parcel fronting US-1 contains a gas station while the parcel directly east of the gas station contains Condominiums.

PCN	Acreage per PAPA	Zoning	Use
68434209020000230	.7 ac	C-S	Retail/Gas Station
6843420929(1010-4070)	~1.3 ac (Not shown on PAPA)	R-3	Multi-Family - Condo

East:

To the east of the subject property there are five parcels. All but one of the parcels are within the R-1 Single-Family Dwelling District while the parcel furthest north consists of Multi-Family.

PCN	Acreage per PAPA	Zoning	Use
6843420917(0010-0140)	~.6 ac (Not shown on PAPA)	R-3	Multi-Family - Condo
68434209010670010	.47 ac	R-1	Single Family
68434209010660250	.39 ac	R-1	Single Family
68434209010660240	.25 ac	R-1	Single Family
68434209010660230	.25 ac	R-1	Single Family

West:

To the west of the subject property there is the US-1 R-O-W, the North Palm Beach Country Club and Village Swimming Pool.

PCN	Acreage per PAPA	Zoning	Use
68434208000001080	145.69 ac.	P -Public District	Golf/Recreation

South:

To the south, there is a single parcel which contains corporate office space.

PCN	Acreage per PAPA	Zoning	Use
68434209010700100	1.73 ac.	C-MU	Office

PROPOSED DESIGN

The proposed administrative amendment revises a label on the previously approved Site Plan, which had indicated that the existing overhead utility lines along the rear 20-foot alley would be buried underground. This label was included in error, as the overhead power lines at the rear alley are an existing condition and cannot be placed underground. As outlined in the conditions of approval “T.” in the approving development order, undergrounding was intended solely for new/relocated power line installations running east-west through the project site—not for existing infrastructure.

In conjunction with this amendment, the orientation of the pool and the location of the relocated oak trees are being revised to provide a more appropriate placement. This Minor Site Plan Amendment proposes that the existing overhead utility lines along the rear alley remain in place.

More specifically, the changes to the Site Plan include:

- Update label for existing overhead utility lines adjacent to the alley to indicate they will remain.
- Add label clarifying that the existing anchor/guy wires within the 3’ x 12’ anchor easement will be removed and replaced with a self-supporting pole, due to conflicts with infrastructure in the parking area.
- Add label indicating that infrastructure within the 6’ x 12’ anchor easement is to remain, as it does not conflict with the proposed parking layout.
- Add label clarifying that the overhead utility line being relocated and extending east-west from the rear alley to US-1 will be buried.
- Revise and rotate the approved pool orientation to facilitate the placement of four (4) relocated oak trees.
- Update the location of the four (4) oak trees previously proposed along the rear alley to a position near the revised pool area.

As part of this Minor Site Plan Amendment, the landscape plan has been updated for consistency with the changes noted above. In summary, the landscape modifications include:

- Updated plantings in the vicinity of the pool area.
- Relocation of the four (4) transplanted oak trees from the rear alley to a location near the pool.
- Substitution of large tree species near the overhead utility lines with smaller, more suitable species.
- Adjusted spacing of buffer trees to accommodate a newly proposed switch cabinet and revised utility layout.
- Updated landscape tabular data, with no reduction in required plant quantities.

No other changes to the site's intensity, density, circulation, or overall configuration are proposed.

CONCLUSION

On behalf of the applicant and property owners, UDS respectfully requests favorable review and consideration of this application for the approval of the Minor Site Plan Application for 200 Yacht Club Drive.

The project managers at Urban Design Studio are Michelle Cuetara who can be reached at (561) 366-1100 or via email at mquetara@udsflorida.com & Lentzy Jean-Louis who can be reached via email at ljean-louis@udsflorida.com . Please contact the agent with any questions or for additional information in support of the requested application.



VILLAGE OF NORTH PALM BEACH, FLORIDA

ORDER GRANTING SITE PLAN AND APPEARANCE APPROVAL

- Applicant: Robbins NPB LLC (“Property Owner” or “Applicant”)
- Property Location: 200 Yacht Club (“Property”)
- Legal Description: Lot 1, Marina Addition to North Palm Beach recorded in Plat Book 27, Page 98 of the public records of Palm Beach County, Florida (PCN: 68-43-43-09-000-0010) and the northerly 64 feet of Lot 12 and Lots 13, 14 and 15, Block 70, Yacht Club Addition to North Palm Beach recorded in Plat Book 26, Page 249 of the public records of Palm Beach County, Florida (PCN’s: 68-43-42-09-01-070-1040 and 68-43-42-09-01-070-0121)
- Request: Approval for Site Plan and Appearance for a mixed-use project with six (6) waivers to combine three parcels together to construct 147 dwelling units utilizing the workforce housing density bonus and 1,975 square feet of restaurant space.

THIS MATTER came before the Planning Commission for hearing on September 18, 2023. After considering the testimony and other evidence presented by the Applicant and Village Staff, the Planning Commission hereby makes the following findings of fact:

1. Applicant’s request meets the requirements for Site Plan and Appearance approval as set forth in Article II of Chapter 6 of the Village Code of Ordinances and Appendix A (“Appearance Plan”).

Based on the foregoing findings of fact, it is ORDERED by the Planning Commission that the Applicants’ request for Site Plan and Appearance approval is hereby **APPROVED** subject to the following conditions:

- A. The most stringent requirements of Exhibit “A” Development Review Committee Report and Recommendation dated August 24, 2023 and as amended, and strict compliance with the Exhibits listed below, which are attached hereto and made part hereof as Exhibit “B”:
- (1) Preliminary Site Plan stamp dated October 23, 2023 (PSP-1)
 - (2) Regulating Plan stamp dated October 23, 2023 (RP-1-5)
 - (3) Tree Disposition Plan stamp dated September 1, 2023 (TD-1-2)
 - (4) Landscaping Plan stamp dated October 23, 2023 (LP-1- 6)
 - (5) Autoturn Analysis stamp dated August 18, 2023
 - (6) Conceptual Paving and Drainage Plan stamp dated August 18, 2023 (Sheet 1-3)
 - (7) Architectural Plan stamp dated October 23, 2023 (A1.0.1-A3.2.2)

- B. If any significant archeological resources are found on site during development and construction, the Applicant shall notify Village Staff and follow the procedures outlined in Section 21-104 of the Village Code of Ordinances. (Planning and Zoning)
- C. The Property shall be platted with the proposed access easements, utility easements and the dedication of right-of-way to the Village, and the plat shall be approved by the Village Council and recorded in the public records prior to the issuance of a certificate of occupancy. (Planning and Zoning)
- D. Prior to the issuance of the first infrastructure permit, the Applicant shall provide the Village with a performance bond, letter of credit, escrow agreement or other acceptable surety agreement in a form approved by the Village Attorney and in an amount approved by the Community Development Director to ensure completion of on-site roadway, drainage, and utility improvements. As improvements are completed and accepted by the Village, the amount of the performance bond, letter of credit, escrow agreement or other acceptable surety may be reduced by a proportionate amount as determined by the Village Manager in consultation with the Community Development Director when requested by the Applicant. (Planning and Zoning)
- E. Prior to the first certificate of occupancy, the Applicant shall provide the Village with a recorded deed restriction, in a form approved by the Village Attorney and executed by the Village, against the subject property stating that all Workforce Housing Units will remain Workforce Housing Units for thirty (30) years from the recording of the deed restriction. Should the applicant decide to convert the Workforce Housing Units from rental to condominium or vice versa, then a new deed restriction, in a form approved by the Village Attorney and executed by the Village, must be recorded and the thirty (30) year restriction starts over to year one. (Planning and Zoning)
- F. Prior to the first infrastructure building permit, the Applicant shall inform the Village in writing whether the workforce housing units shall be rental or ownership.
- G. No certificate of occupancy, either for residential or commercial use, shall be issued until the applicant has provided the Village the following:
 - 1) A Declaration of Covenant that has been reviewed and approved by the Village (and filed in the public records) restricting the workforce housing units to rental or ownership.
 - 2) The Declaration shall outline the following:
 - a. The qualifications for occupancy or ownership eligibility of the workforce units and the length of such restrictions;
 - b. Identify actions if occupant or owner is noncompliant with the restrictions;
 - c. What controls will be imposed to ensure that the units remain affordable, e.g., restrictions on transfer or sale;
 - d. The policies for initial and long-term monitoring of the workforce housing units;
 - e. Who or what entity will be monitoring the eligibility requirements and the enforcement of the workforce housing restrictions; and
 - f. The reporting requirements to the Village.

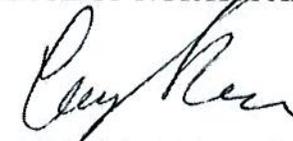
- H. Proper separation and ventilation shall be required for live work units based upon occupancy classification. (Fire and Building)
- I. A permit shall be obtained from Seacoast Utility Authority prior to the first infrastructure permit. (Planning and Zoning)
- J. No parking signs shall be added along the alley in the transportation easement prior to issuance of the first certificate of occupancy. (Public Works)
- K. All infrastructure, including but not limited to fire hydrants, street lights, storm drains, etc., proposed on the approved site plan shall be maintained by the Property Owner. Fire hydrants shall be installed, tested and in service prior to construction, and a stabilized fire department access road shall be installed and maintained prior to and throughout construction. (Fire and Planning and Zoning)
- L. The commercial space adjacent to the one pedestrian plaza is intended to attract the general public to the area. The commercial space shall provide services, entertainment, and/or retail sales for the general public. The commercial space adjacent to the pedestrian plaza shall not be used for non-service-related office space. Permitted uses will be reviewed and approved by the Village Manager and the Community Development Director. (Planning and Zoning)
- M. Permits from the South Florida Water Management District and the Village of North Palm Beach, as required, for the storm water management system must be obtained prior to the issuance of building permits. (Engineering and Planning and Zoning)
- N. A driveway connection and/or right-of-way construction permit from the Florida Department of Transportation must be obtained prior to issuance of a building permit if applicable. (Engineering and Planning and Zoning)
- O. Prior to the issuance of building permits, drainage calculations must be provided demonstrating that the required water quality and quantity volumes needed for the site can be met. Standard exfiltration trench calculation, drainage pipe sizing calculations, and flood routing calculations for the appropriate storm events must also be included. (Engineering and Planning and Zoning)
- P. Permits from the Health Department for the water and sewer system must be obtained prior to approval of building permits. (Engineering and Planning and Zoning)
- Q. All roof top equipment shall be screened on all four sides consistent with the architecture of the building; no equipment shall be taller than the proposed screening. All ground mounted mechanical equipment (air conditioning, backflow preventer, etc.) shall be screened on all four sides; no equipment shall be taller than the proposed screening. (Planning and Zoning)
- R. In accord with the requirements of the National Pollution Discharge Elimination System (NPDES), a Storm Water Pollution Prevention Plan, Owner/Operator Certification, and Notice of Intent shall be submitted and accepted by the Village prior to the issuance of building permits. (Building and Public Works)

- S. A site clearing and tree removal permit shall be required prior to any clearing activities on site. This permit shall demonstrate protection of existing trees to remain. Additions to the landscaping plan may be necessary to meet Code requirements if existing material to remain is unsuitable for buffer purposes. (Planning and Zoning)
- T. All new utilities shall be provided underground. Appurtenances to these systems which require above-ground installation must be effectively screened from view. All utilities and services to the site shall be provided by entities holding valid franchise agreements with the Village. (Engineering and Planning and Zoning)
- U. All existing trees shown to remain on the approved landscape plans shall be maintained in perpetuity. In the event they should die, they shall be replaced with like species of a size and quantity. If the oak trees do not survive relocation or preservation, they shall be replaced with oaks that are the largest caliper reasonably available from local nurseries. (Planning and Zoning)
- V. In accord with the determination of compliance with the Traffic Performance Standards by Palm Beach County Engineering, no building permits shall be issued after the build-out date of December 31, 2027, unless a revised traffic study with a later build-out date has been approved by the County and a copy of the approval provided to the Village of North Palm Beach. (Planning and Zoning)
- W. All conditions as outlined in the Florida Department of Transportation Pre-Application Letter shall be met prior to issuance of building permits. (Planning and Zoning)
- X. Prior to issuance of the first building permit for vertical construction, the Applicant shall revise plans to provide details of lighting fixtures that utilize dark-sky friendly techniques where feasible. (Planning and Zoning)
- Y. The dumpster enclosure walls shall match the finish, color and design elements of the building walls and trim. At a minimum, the dumpster enclosure gates shall be solid 3/4" deep galvanized corrugated 22-gauge steel matching the building color. (Planning and Zoning)
- Z. A bicycle rack accommodating a minimum of 4 bikes shall be provided. (Planning and Zoning)
- AA. No outdoor speakers shall be permitted. (Planning and Zoning)
- BB. Approval for the outdoor seating area must be obtained through an Outdoor Seating Permit or through a Site Plan Amendment, whichever process is approved by the Village Council. (Planning and Zoning)
- CC. The site plan shall be revised as necessary to reflect all conditions of approval and re-submitted prior to the issuance of building permits. (Planning and Zoning).
- DD. Any deviations to the approved site plan shall be governed by Section 6-59(4) of the Village Code of Ordinances. (Planning and Zoning)

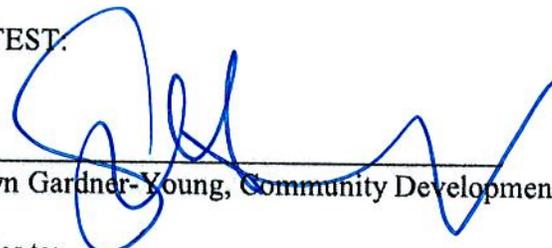
- EE. Non-compliance with any of the conditions of approval will result in the Village withholding the issuance of any building permits or any Certificates of Occupancy. (Planning and Building)
- FF. The conditions of approval shall be binding on the Applicant and its successors in interest and assigns and a violation of such conditions shall constitute a violation of the Village Code of Ordinances and may be enforced by the Village as set forth in Article VI, Chapter 2 of the Village Code or as otherwise authorized by law. (Planning and Zoning)
- GG. All advertisements and legal addresses on insurance policies and business correspondence shall clearly state that the project is located within the "Village of North Palm Beach." (Planning and Zoning)
- HH. The Applicant shall be bound by all oral and written representations made both on the record and as part of the application process irrespective of whether such representations are included as formal conditions.

DONE AND ORDERED this 1 day of DECEMBER, 2023.

VILLAGE OF NORTH PALM BEACH

By: 
Cory Cross, Vice Chair

ATTEST.


Caryn Gardner-Young, Community Development Director

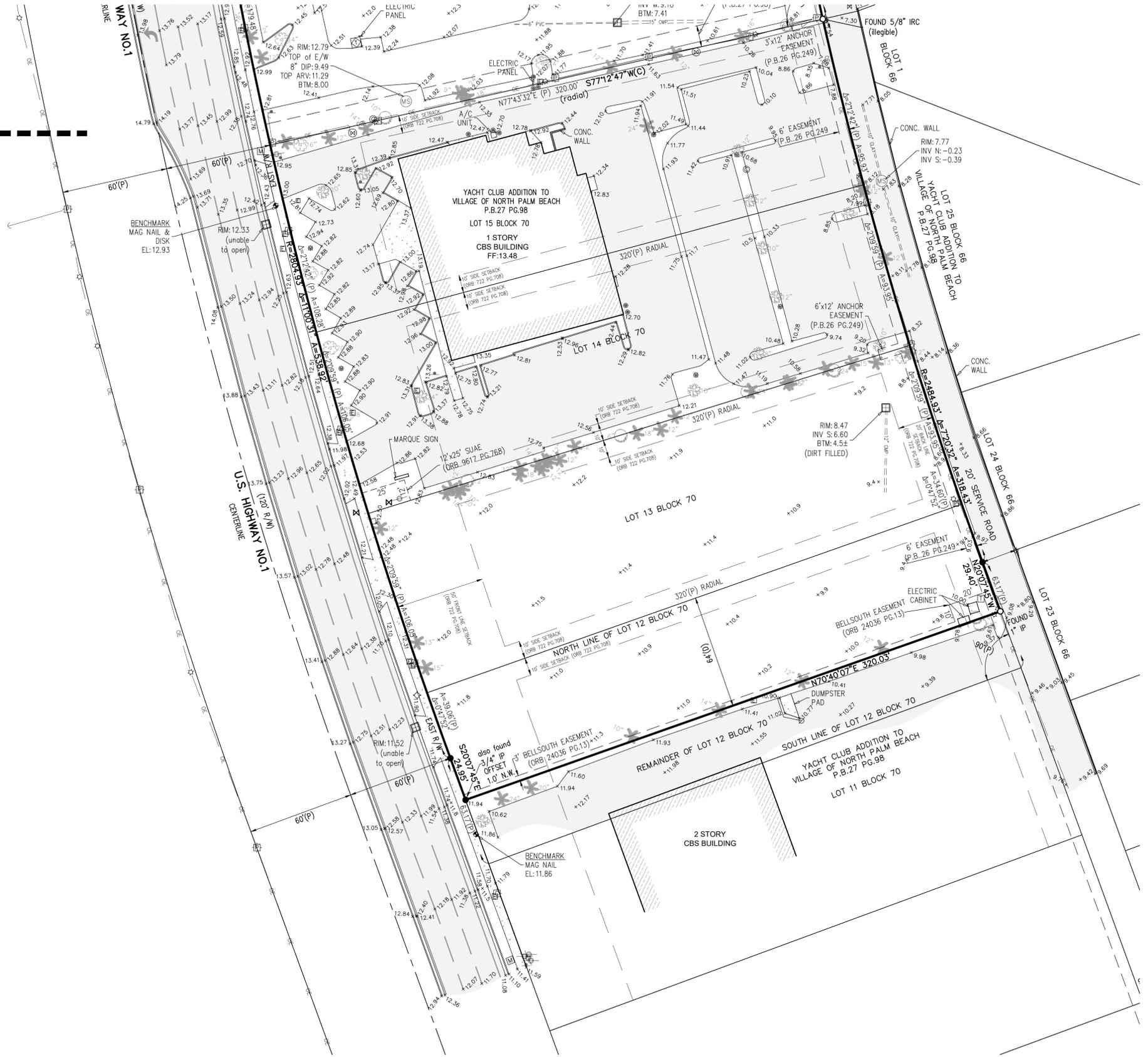
Copies to:
Urban Design Studios, petitioner agent
Leonard G. Rubin, Village Attorney



0 15 30 60
SCALE: 1" = 30'

MATCH LINE
SEE SHEET 1

LEGEND	
FOUND IR/C	○
NAIL & DISK	⊙
SET IR/C "BROWN & PHILLIPS"	●
BENCHMARK	⊕
BACKFLOW PREVENTER	⊖
BOLLARD	⊗
CATCH BASIN	⊠
CONCRETE LIGHT POLE	⊡
CONCRETE POWER POLE	⊢
ELECTRIC BOX	⊣
FIRE HYDRANT	⊤
GAS MARKER	⊥
GATE POST	⊦
GREASE TRAP	⊧
GROUND LIGHT	⊨
GUY ANCHOR	⊩
IRRIGATION VALVE	⊪
MANHOLE DRAINAGE	⊫
MANHOLE SANITARY	⊬
MASTARM	⊭
METAL LIGHT POLE	⊮
METAL PIPE	⊯
SIGN	⊰
TELEPHONE BOX	⊱
TRANSFORMER	⊲
VALVE	⊳
WATER METER	⊴
WATER VALVE	⊵
WOOD POWER POLE	⊶
BLACK OLIVE TREE	⊷
OAK TREE	⊸
PALM TREE	⊹
UNKNOWN TREE	⊺
FENCE	x
OVERHEAD WIRE	—○—
ASPHALT	▭
BRICK	▭
BUILDING	▭
CONCRETE	▭



BROWN & PHILLIPS, INC.
 PROFESSIONAL SURVEYING SERVICES
 CERTIFICATE OF AUTHORIZATION # LB 6473
 1860 OLD OKEECHOBEE ROAD, SUITE 509, WEST PALM BEACH, FLORIDA 33409 561-615-3988

DATE	REVISIONS	#

SKETCH OF
BOUNDARY SURVEY
 200 YACHT CLUB DRIVE
NORTH PALM BEACH

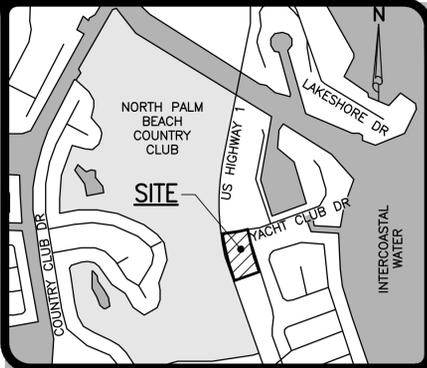
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 CHECKED: JEP
 F.B. N. PALM BCH
 PAGES: 38-51

PROJ. No. 20-087
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 DATE: OCT. 2020
 SHEET: 2 OF 2

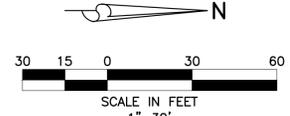
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NOTES:

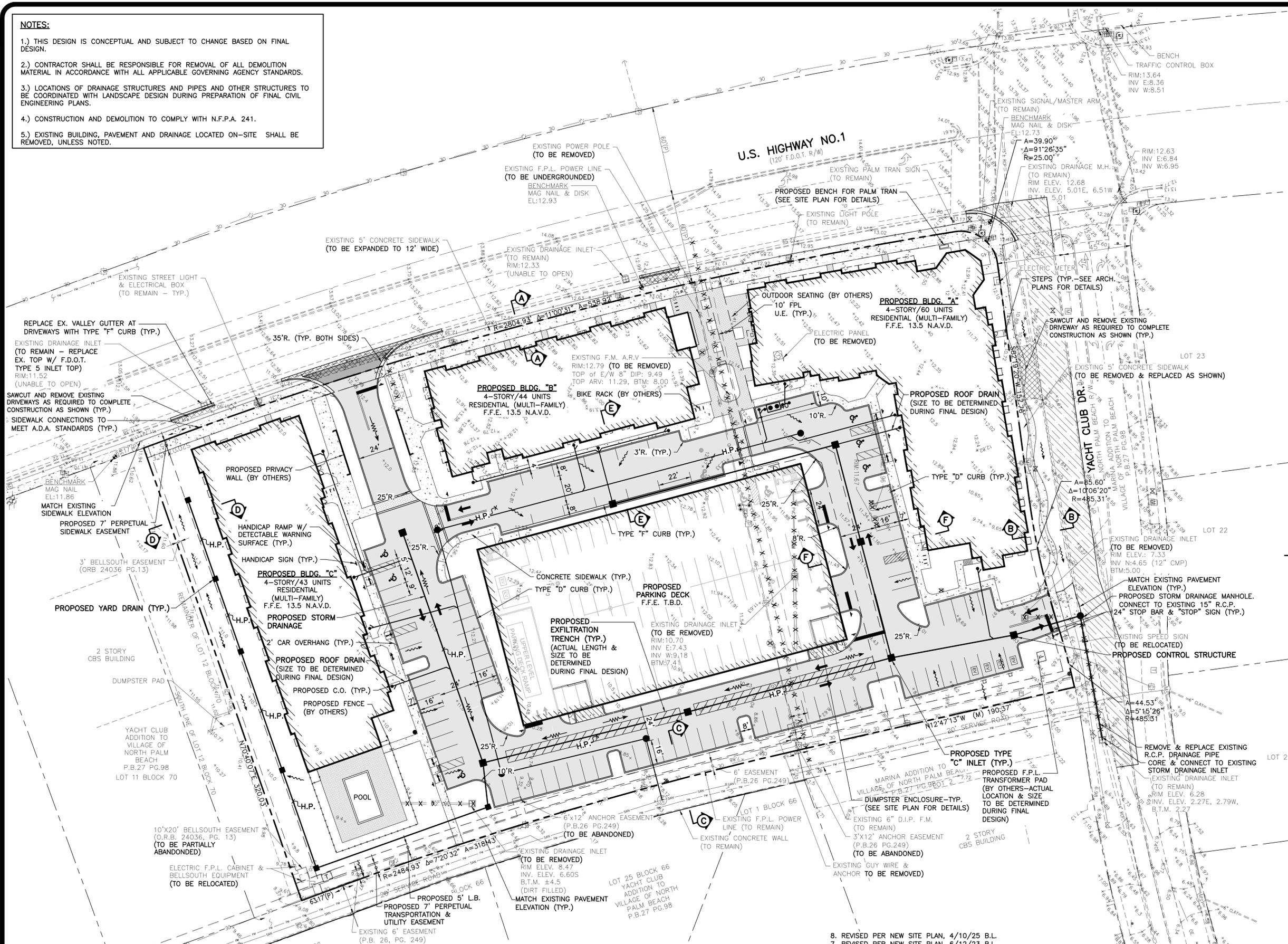
- 1.) THIS DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- 2.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AGENCY STANDARDS.
- 3.) LOCATIONS OF DRAINAGE STRUCTURES AND PIPES AND OTHER STRUCTURES TO BE COORDINATED WITH LANDSCAPE DESIGN DURING PREPARATION OF FINAL CIVIL ENGINEERING PLANS.
- 4.) CONSTRUCTION AND DEMOLITION TO COMPLY WITH N.F.P.A. 241.
- 5.) EXISTING BUILDING, PAVEMENT AND DRAINAGE LOCATED ON-SITE SHALL BE REMOVED, UNLESS NOTED.



LOCATION MAP
NOT TO SCALE



- LEGEND**
- PROPOSED STORM SEWER AND CATCH BASIN
 - DIRECTION OF FLOW
 - DIRECTION OF SWALE
 - PROPOSED HIGH POINT
 - EXISTING GRADE ELEVATION
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED DETECTABLE WARNING SURFACE
 - SAWCUT, REMOVE, & REPLACE EXISTING PAVEMENT, CONCRETE, CURB, ETC.
 - SAWCUT & REMOVE EXISTING PAVEMENT, CONCRETE, CURB, ETC.
 - PROPOSED EXFILTRATION TRENCH (ACTUAL LENGTH & SIZE TO BE DETERMINED DURING FINAL DESIGN)
 - PROPOSED LIGHT POLE (BY OTHERS)
 - PROPOSED TRANSFORMER LOCATION (BY OTHERS)
 - PROPOSED DIRECTIONAL ARROW
 - PROPOSED BENCH & TRASH CAN (BY OTHERS)
 - PROPOSED BIKE RACK (BY OTHERS)
 - PROPOSED 24" WHITE STOP BAR, "STOP" SIGN & 6" DOUBLE YELLOW STRIPE
 - EXISTING OVERHEAD POWER LINE & POWER POLE
 - EXISTING STORM DRAINAGE PIPE
 - EXISTING WATER MAIN
 - EXISTING SEWER MAIN
 - EXISTING FORCE MAIN



8. REVISED PER NEW SITE PLAN, 4/10/25 B.L.
7. REVISED PER NEW SITE PLAN, 6/12/23 B.L.

6. REVISED PER NEW SITE PLAN, 6/27/22 R.S.
5. REVISED PER NEW SITE PLAN, 6/16/22 R.S.
4. REVISED PER S.U.A. & N.P.B. COMMENTS, 10/27/21 B.L.
3. REVISED PER N.P.B. & S.U.A. COMMENTS, 09/10/21 B.L.
2. REVISED PER NEW SITE PLAN, 7/9/21 R.S.
1. REVISED PER N.P.B. COMMENTS & SITE/ARCH PLAN UPDATES, 2/10/21 R.S.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JESSE J. PARRISH, N., P.E. ON 4/11/2025.
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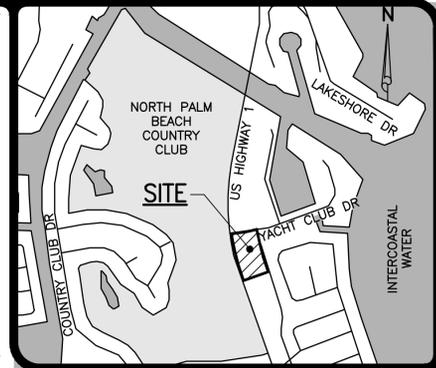


200 YACHT CLUB DRIVE
SECTION 9, TOWNSHIP 42S., RANGE 43E.
NORTH PALM BEACH, FLORIDA
CONCEPTUAL PAVING AND DRAINAGE PLAN

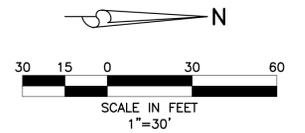
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J.P.	R.S.				20-112	20112C01	1	3

NOTES:

- 1.) THIS DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- 2.) ALL WATER AND WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SEACOAST UTILITY AUTHORITY AND THE PALM BEACH COUNTY HEALTH DEPARTMENT.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AGENCY STANDARDS.
- 4.) LOCATIONS OF WATER AND SANITARY SEWER SERVICES TO BE COORDINATED WITH LANDSCAPE DESIGN DURING PREPARATION OF FINAL CIVIL ENGINEERING PLANS.
- 5.) CONSTRUCTION AND DEMOLITION TO COMPLY WITH N.F.P.A. 241.
- 6.) FIRE DEPARTMENT LOCKING CAPS WILL BE REQUIRED ON THE FIRE DEPARTMENT CONNECTION.
- 7.) EXISTING UTILITIES LOCATED ON-SITE SHALL BE REMOVED, UNLESS NOTED.

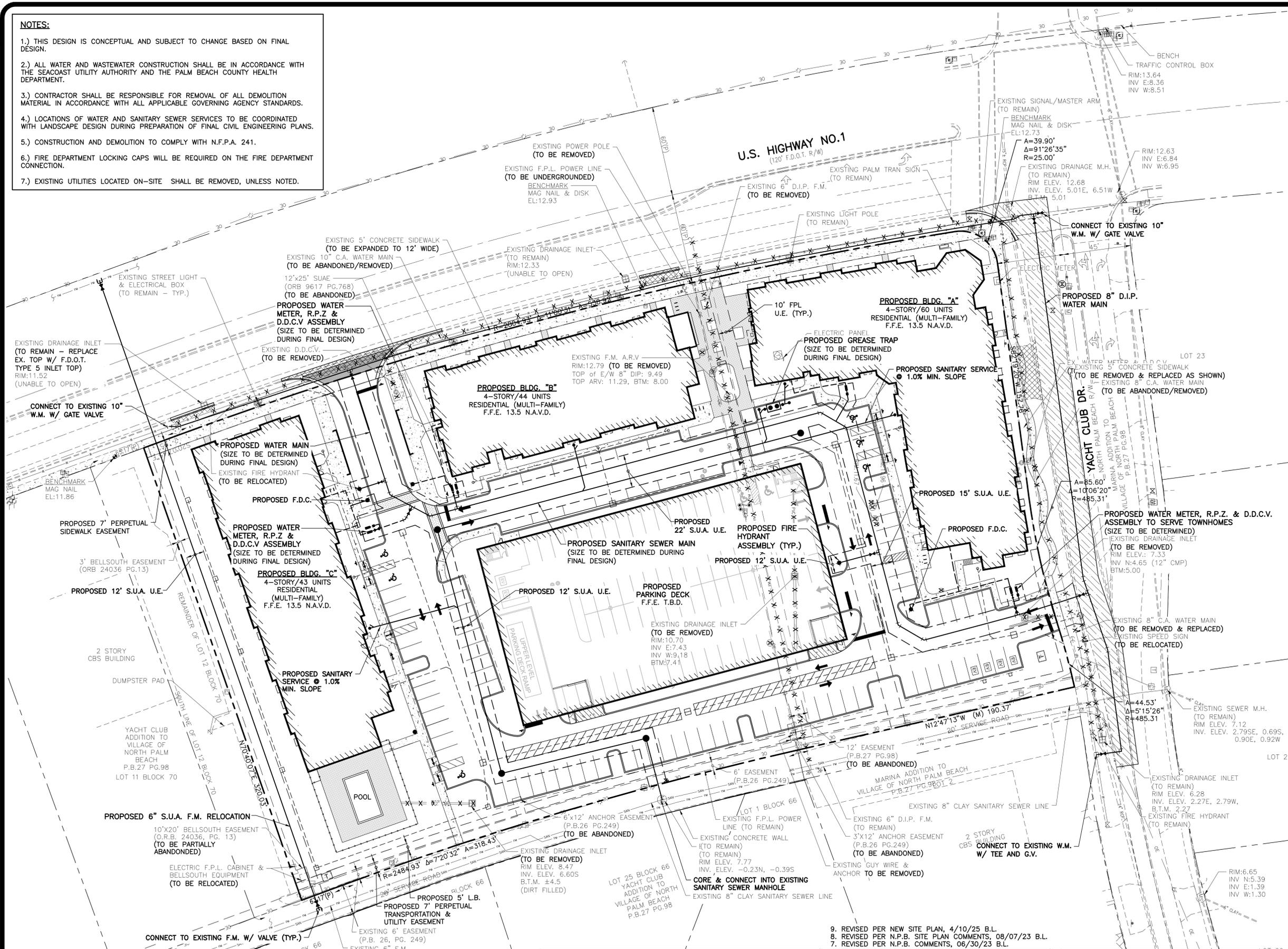


LOCATION MAP
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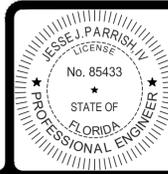
LEGEND

- PROPOSED CONCRETE
- SEWER SERVICE W/ CLEAN-OUT
- FIRE HYDRANT W/ GATE VALVE
- PROPOSED SANITARY SEWER LINE, MANHOLE & FLOW DIRECTION
- WATER SERVICE & R.P.Z. (REFER TO POTABLE WATER SERVICE SINGLE METER INSTALLATION DETAIL.)
- PROPOSED F.D.C.
- PROPOSED LIGHT POLE (BY OTHERS)
- PROPOSED TRANSFORMER LOCATION (BY OTHERS)
- PROPOSED DIRECTIONAL ARROW
- PROPOSED BENCH & TRASH CAN (BY OTHERS)
- PROPOSED BIKE RACK (BY OTHERS)
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- EXISTING OVERHEAD POWER LINE & POWER POLE
- EXISTING STORM DRAINAGE PIPE
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING FORCE MAIN



9. REVISED PER NEW SITE PLAN, 4/10/25 B.L.
8. REVISED PER N.P.B. SITE PLAN COMMENTS, 08/07/23 B.L.
7. REVISED PER N.P.B. COMMENTS, 06/30/23 B.L.

6. REVISED PER NEW SITE PLAN, 6/27/22.
5. REVISED PER NEW SITE PLAN, 6/16/22.
4. REVISED PER S.U.A. & N.P.B. COMMENTS, 10/27/21 B.L.
3. REVISED PER W.P.B. & S.U.A. COMMENTS, 09/10/21 B.L.
2. REVISED PER NEW SITE PLAN, 7/9/21.
1. REVISED PER N.P.B. COMMENTS & SITE/ARCH PLAN UPDATES, 2/10/21.



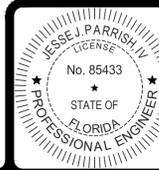
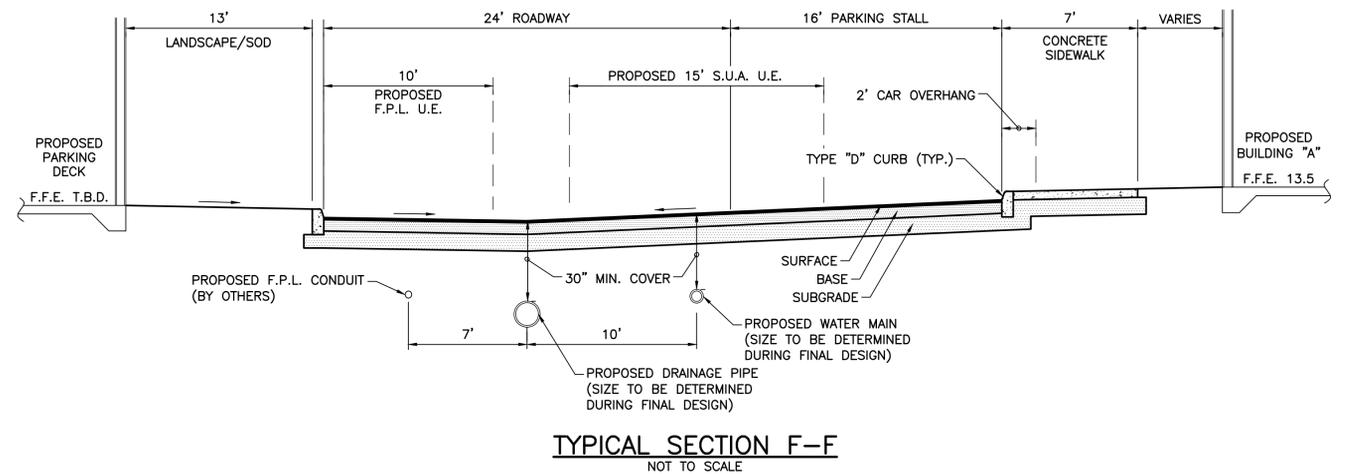
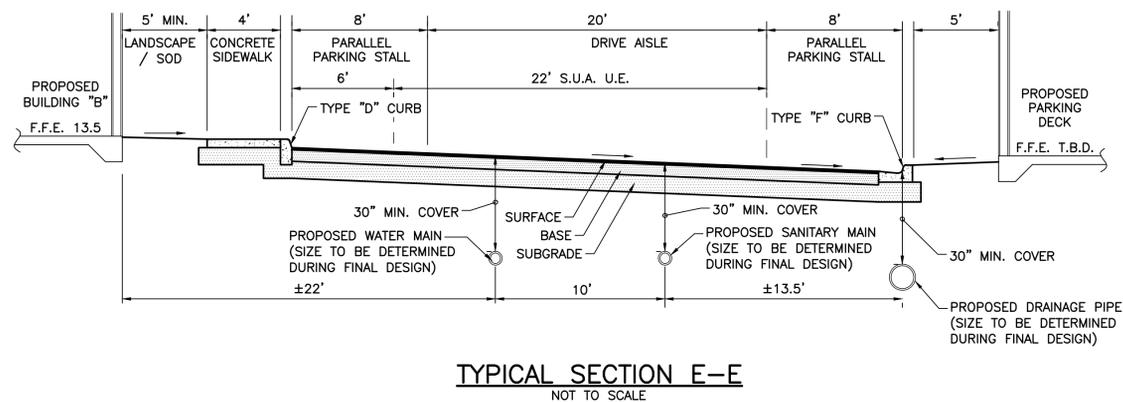
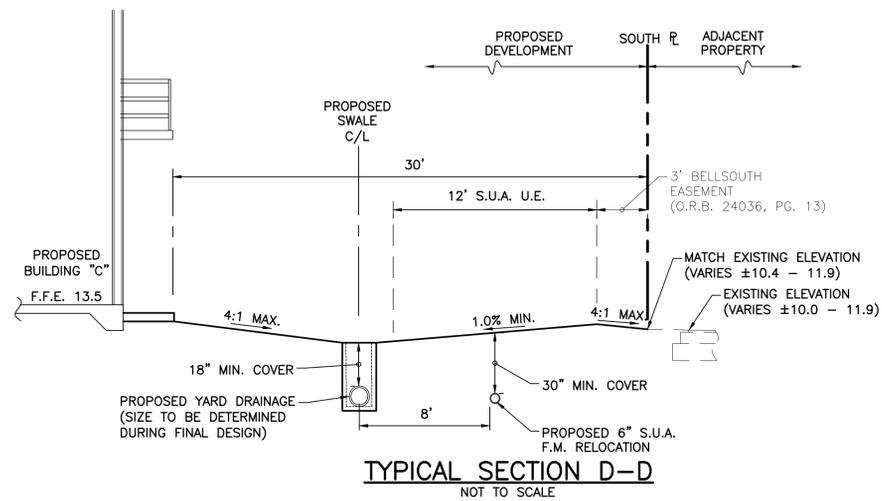
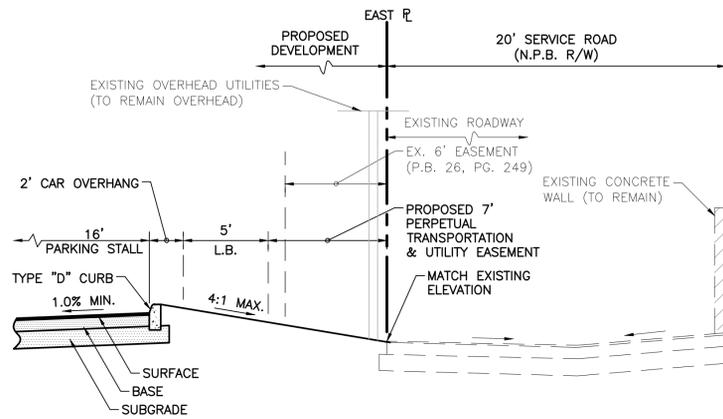
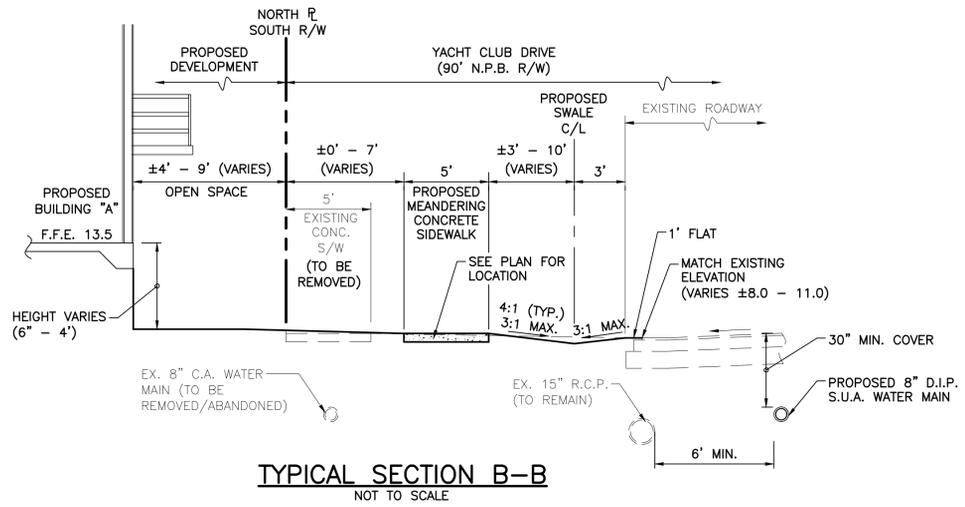
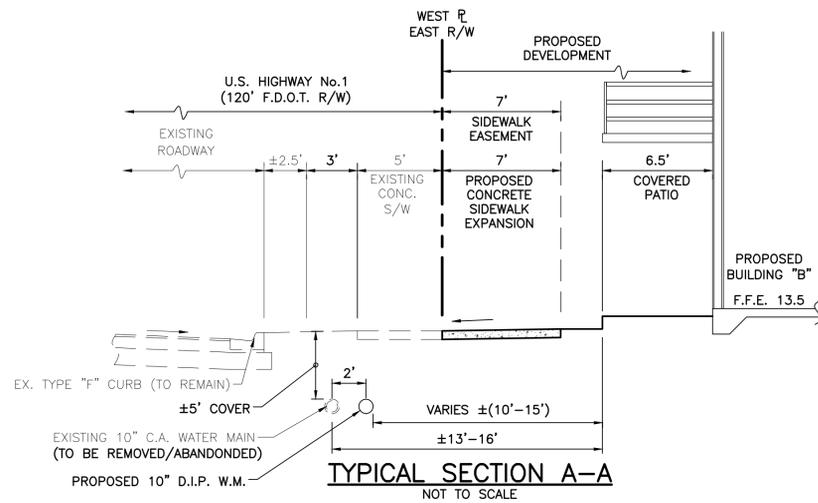
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JESSE J. PARRISH, N., P.E. ON 4/11/2025.

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200 YACHT CLUB DRIVE
SECTION 9, TOWNSHIP 42S., RANGE 43E.
NORTH PALM BEACH, FLORIDA
CONCEPTUAL WATER AND
WASTEWATER PLAN

DESIGN	DRAWN	CHECKED	APPROVED	DATE	JOB NO.	DRAWING NO.	SHEET	OF
J.P.	R.S.				20-112	20112C02	2	3



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JESSE J. PARRISH, IV., P.E. ON 4/11/2025.

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5. REVISED SECTION C-C PER SITE PLAN, 04/10/25 B.L.
4. REVISED PER NEW SITE PLAN, 6/27/22.
3. REVISED SECTIONS PER S.U.A., 10/27/21 B.L.
2. REVISED PER N.P.B. & S.U.A. COMMENTS, 09/10/21 B.L.
1. REVISED PER NEW SITE PLAN, 7/9/21.



200 YACHT CLUB DRIVE
SECTION 9, TOWNSHIP 42S., RANGE 43E.
NORTH PALM BEACH, FLORIDA
CONCEPTUAL PAVING, DRAINAGE,
WATER AND WASTEWATER SECTIONS

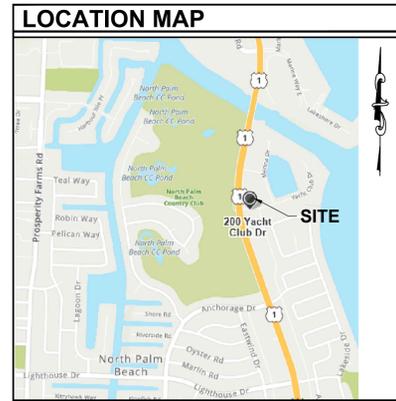
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J.P.	R.S.			

JOB NO.	DRAWING NO.	SHEET	OF
20-112	20112C03	3	3

200 YACHT CLUB DRIVE

Preliminary Landscape Plan North Palm Beach, Florida

NOTE: These Landscape Plans have been prepared to satisfy Village of North Palm Beach zoning requirements and to conceptually reflect landscape requirements for the site. They are not to be utilized for construction drawings until final engineering and architectural plans are available. These drawings are not to be used for Building Permit application until these plans are finalized.



DEVLEOPMENT TEAM:

ARCHITECT:	SpinaOrouke + Partners 285 Banyan Blvd West Palm Beach, FL 33401 561.684.6844	CIVIL & TRAFFIC ENGINEER:	Simmons & White, Inc. 2581 Metrocentre Blvd., Suite 3 West Palm Beach, FL 33407 561.478.7848
LANDSCAPE ARCHITECT/PLANNER:	Urban Design Studio 610 Clematis St. Ste. CU02 West Palm Beach, Florida 33401 561.366.1100	SURVEYOR:	Brown & Phillips, Inc. 1800 Old Okeechobee Rd., Ste. 509 West Palm Beach, FL 33409 561.615.3988

LANDSCAPE NOTES:

- BASE INFORMATION OBTAINED FROM A PRELIMINARY ENGINEERING AND UTILITY PLANS PREPARED BY SIMMONS & WHITE, INC. DATED 11/24/2020, REVISED ON 04/11/25.
- ALL INVASIVE SPECIES WILL BE ERADICATED FROM THE AFFECTED AREA AS REQUIRED BY CODE.
- ALL LANDSCAPE MATERIAL SHALL CONFORM TO THE MOST RECENT STANDARDS AS OUTLINED BY THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SIGHT TRIANGLES SHALL BE PROVIDED AND MAINTAINED BY OWNER CLEAR OF VEGETATION TO PROVIDE UNOBSTRUCTED VISIBILITY BETWEEN 30 INCHES AND 8 FEET ABOVE GRADE.
- UTILITY EASEMENTS SHALL NOT ENCR OACH INTO LANDSCAPE BUFFERS MORE THAN 5 FEET OR AS PERMITTED BY CODE.
- FDOT TYPE "D" OR "F" CURB OR WHEEL STOPS TO BE PROVIDED ALONG ALL LANDSCAPE AREAS.
- ALL INSTALLATION WORK SHALL BE CARRIED OUT IN A PROFESSIONAL MANNER IN ACCORDANCE WITH STANDARD NURSERY AND INSTALLATION PRACTICES.
- QUANTITIES ON PLANT LIST ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS. QUANTITIES AND TREE SPACING CANNOT BE CHANGED WITHOUT VILLAGE APPROVAL.
- ALL LANDSCAPE AREAS SHALL BE SODDED, MULCHED OR OTHERWISE COVERED WITH GROUND COVER PER THESE PLANS AS LABELED.
- TREES SHOWN ON THIS PLAN ARE GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. TREES MAY BE FIELD ADJUSTED TO AVOID CONFLICTS WITH DRIVEWAYS AND UNDERGROUND UTILITIES. QUANTITIES AND TREE SPACING CANNOT BE CHANGED WITHOUT PRIOR VILLAGE APPROVAL.
- PER SEC. 45-90 B.2 A HEDGE SHALL BE PLANTED IN REQUIRED EAST PERIMETER LANDSCAPE BUFFER TO FORM A CONTINUOUS SOLID OPAQUE VISUAL SCREEN OF AT LEAST THIRTY-SIX (36) INCHES IN HEIGHT WITHIN TWO (2) YEARS OF PLANTING.

UTILITY SETBACK NOTES:

- ALL SETBACK DIMENSIONS SHOWN ON THE PLANS ARE TO BE MET AT THE TIME OF INSTALLATION.
- TREES ARE TO BE INSTALLED WITH A FIFTEEN FOOT (15') SEPARATION FROM ANY WATER OR SEWER MAIN AND/OR SERVICE, HYDRANTS, AND LIFT STATIONS. OR WITH A MINIMUM TEN FOOT (10') SETBACK IF INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL ON SHEET LP-4 FOR INSTALLATION REQUIREMENTS. HOWEVER IN NO CASE SHALL A TREE ENCR OACH INTO A SUAUE WITH PRIOR SEACOAST UTILITY AUTHORITY APPROVAL AND ONLY SOD CAN BE INSTALLED WITHIN 5' OF A FIRE HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE MARSHAL AND SUA.
- TREES ARE TO BE INSTALLED WITH A TEN FOOT (10') SEPARATION FROM ANY DRAINAGE OR STORM SEWER INFRASTRUCTURE, OR WITH A MINIMUM SEVEN FOOT (7') SETBACK IF INSTALLED WITH A ROOT BARRIER SYSTEM. REFER TO THE "ROOT BARRIER" DETAIL ON SHEET LP-4 FOR INSTALLATION REQUIREMENTS.
- WHERE REQUIRED, ROOT BARRIER TO BE INSTALLED WITH A MINIMUM 5' SEPARATION TO THE EDGE OF ALL UNDERGROUND UTILITIES AND INFRASTRUCTURE.
- TREES SHALL BE PLANTED WITH A MIN. 2' SEPARATION BETWEEN ANY ROOT BARRIER (MEASURED FROM THE CENTER OF THE TREE).

LANDSCAPE EXCAVATION & BACKFILL NOTES:

- TREE AND SHRUB PLANTING BEDS WHICH FALL WITHIN OR NEAR ROADWAY AREAS SHALL BE COMPLETELY EXCAVATED AND BACK-FILLED WITH TOPSOIL. ALL SHELL-ROCK OR OTHER BASE MATERIALS, AND ALL SUBSOIL AND DEBRIS, SHALL BE COMPLETELY REMOVED FROM BENEATH SUCH PLANTING AREAS, TO A MINIMUM DEPTH OF 36". UPON COMPLETION OF EXCAVATION, LANDSCAPE ARCHITECT OR OWNER SHALL INSPECT THE EXCAVATED AREA PRIOR TO BACKFILLING WITH TOPSOIL.
- ALL TREE AND/OR SHRUB PLANTING AREAS WITHIN 8' OF BUILDING FOUNDATIONS, AND ANY OTHER PLANTING AREAS WHERE SIGNIFICANT BURIED CONSTRUCTION DEBRIS IS ENCOUNTERED, SHALL BE COMPLETELY EXCAVATED TO A MINIMUM DEPTH OF 36". UPON COMPLETION OF EXCAVATION, LANDSCAPE ARCHITECT OR OWNER SHALL INSPECT THE EXCAVATED AREA PRIOR TO BACKFILLING WITH TOPSOIL.

DISPOSITION & MITIGATION SUMMARY CHART:

EXISTING TREE DISPOSITION SUMMARY			
	QTY.		DBH (INCHES)
Preserve	0		N/A
Remove <i>Non-native &/OR less than 60% condition rating (no mitigation required)</i>	29		N/A
Relocate on site <i>Native & 60% or greater condition rating</i>	6		101.5
Total Trees	35		

EXISTING PALM DISPOSITION SUMMARY		
	QTY.	
Preserve	5	
Relocate on-site	27	
Remove & Replace 1:1	34	
Remove (<6' CT, no mitigation required)	4	
Total Existing Palms	70	

RELOCATION PROGRAM:

- LIVE OAKS: 6 RELOCATED ON SITE
- SABAL PALMS: 27 RELOCATED ON SITE (EAST BUFFER)

SHEET INDEX:

COVER SHEET	LP-1
LANDSCAPE PLAN	LP-2 & LP-3
LANDSCAPE DETAILS	LP-4
TREE PROTECTION AND RELOCATION DETAILS	LP-5
LANDSCAPE SPECIFICATIONS	LP-6
TREE DISPOSITION TABULAR & PLAN	TD-1
TREE PROTECTION & RELOCATION DETAILS	TD-2

PLANT SCHEDULE:

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	DROUGHT TOLERANT
TREES					
	BS	6	Bursera simaruba / Gumbo Limbo Min. 12' Ht. x 5" Spr., Min. 3" Cal., Single stemmed, Full even crown	Yes	Yes
	CG	12	Cassia surattensis / Glaucous Cassia 12' Ht. x 5" Spr., Min. 2" Cal., Single stemmed, Full even crown	No	Yes
	CE	36	Conocarpus erectus 'sericeus' / Silver Buttonwood 12' Ht. x 5" Spr., Min. 2.5" Cal., Single stemmed, Full even crown	Yes	Very
	ED	30	Elaeocarpus decipiens / Japanese Blueberry Tree 12' Ht. x 5" Spr., 2.5" Cal., 5 CT, Full Dense Canopy	No	Yes
	PO	1	Plumeria obtusa / Singapore White Plumeria 8' Ht. x 4" Spr., Min	No	Yes
	TG	5	Tibouchina granulata / Purple Glory Tree 8' Ht. x 4" Spr., 1.5" Cal. Straight Trunk	No	Yes
PALM TREES					
	CN	7	Coccothrinax 'Green Malaysian' / Coconut Palm 14' G.W. Matched Heights, Heavy Straight Trunk, No Tapering GW, No Scars, Full Crown	No	Yes
	LG	14	Licuala grandis / Licuala Palm Spr. Crown, 4' Ht. x 3" Spr.	No	Yes
	PS	8	Phoenix syzestis / Wild Date Palm 16' G.W. Matched Heights, Heavy Straight Trunk, No Tapering GW, No Scars, Full Crown	No	Yes
	PE	42	Phycosperma elegans / Alexander Palm 10' Cl. 18" O.A. Ht. Single Trunk, Full Head, No Scars Trunk	No	Yes
	RE12	5	Ropstonea elata / Florida Royal Palm 12' G.W. Matched Heights, Heavy Straight Trunk, No Tapering GW, No Scars, Full Crown	Yes	Yes
	SP	52	Sabal palmetto / Cabbage Palmetto 8'-12' C.T. Varying Heights, Slack Straight Trunk, Hurricane Cut NOTE: 24 SABAL PALMS TO BE ALLOCATED TOWARDS REPLACEMENT FOR 34 SABALS REMOVED (1:1 REPLACEMENT)	Yes	Yes
	TR	7	Thrinax radiata / Florida Thatch Palm 8' Cl. 8" O.A. Ht. Single Trunk, Full Head	Yes	Very
	VA	18	Veitchia arcaea / Montgomery Palm 12' G.W. Matched Heights, Heavy Straight Trunk, No Scars, Full Crown	No	Yes
RELOCATED TREES					
	QV-R	6	Quercus virginiana / Southern Live Oak (RELOCATED) Existing Live Oak Tree relocated from on-site (Tag #s 20, 22, 27, 28, 33, 34). Refer to Tree Disposition Tabular	Yes	Yes
	SP-R	27	Sabal palmetto / Cabbage Palmetto (RELOCATED) EXISTING TREE RELOCATED FROM ELSEWHERE ON SITE	Yes	Yes
PRESERVED TREES					
	SP-P	5	Sabal palmetto / Cabbage Palmetto Existing to remain	Yes	Yes
SHRUBS					
	ALZ	156	Alpinia zerumbet / Shell Ginger 7 Gal., Min. 36" Ht., 36" Spr., 48" O.C Full Dense Shrub,	No	Yes
	CLU	401	Clusia guineensis / Small Leaf Clusia 3 Gal., Min. 36" Ht., 36" Spr., 48" o.c. Full dense shrub,	Yes	Yes
	CAD	13	Critium augustum / Queen Emma / Queen Emma Critium Lily 7 Gal., Min. 36" Ht., 36" Spr., 36" O.C Full Dense Shrub	No	Yes
	MYC	25	Myrica cerifera / Wax Myrtle 7 Gal., Min. 36" Ht., 36" Spr., 48" o.c. Full dense shrub,	Yes	Yes
LARGE SHRUBS					
	CHS	137	Chrysothamnus sp. 'Red Tipped' / Horizontal Coccoloba Min. 7 Gal., Min. 36" Ht. x 24" Spr. 30" O.C. Full and Dense Shrub, Full to Base	Yes	Yes
MEDIUM SHRUBS					
	CH	193	Chrysothamnus sp. 'Horizontal' / Horizontal Coccoloba Min. 3 Gal., Min. 24" Ht. x 24" Spr. 30" O.C. Full and Dense Shrub, Full to Base	Yes	Yes
	HAC	58	Hamelia patens 'Compacta' / Dwarf Firebush Min. 3 Gal., Min. 24" Ht. x 24" Spr., 30" O.C., Fully Rooted and Dense	Yes	Yes
	HIB	131	Hibiscus rosa-sinensis 'Seminoe Pink' / Seminoe Pink Hibiscus Min. 3 Gal., Min. 24" Ht. x 24" Spr. 30" O.C. Full and Dense Shrub, Full to Base	No	Yes
	IXA	45	Isora coocinea 'Nora Grant' / Nora Grant Pink Isora Min. 3 Gal., Min. 24" Ht. x 24" Spr., 30" O.C., Fully Rooted and Dense	No	Yes
	MUC	71	Muhlenbergia capillaris / Pink Muly Min. 3 Gal., Min. 24" Ht. x 24" Spr. 36" O.C. Full and Dense Shrub, Full to Edge of Pot	Yes	Yes
	PSA	85	Pennisetum setaceum 'Alba' / White Fountain Grass Min. 3 Gal., Min. 24" Ht. x 24" spr., 30" O.C., Full dense plant	No	Yes
	PLM	124	Plumbago auriculata / Blue Plumbago Min. 3 Gal., Min. 24" Ht. x 24" spr., 30" O.C., Full dense plant	No	Yes
	TDF	29	Tripsacum dactyloides / Fakahatchee Grass Min. 3 Gal., Min. 24" Ht. x 18" Spr. 36" O.C. Full and Dense Shrub, Full to Base	Yes	Yes
	FAD	945	Tripsacum floridanum / Fakahatchee Grass 'Dwarf' Min. 3 Gal., Min. 24" Ht. x 24" spr., 30" O.C., Full dense plant	Yes	Yes
	ZAF	63	Zamia floridana / Coonite 3 Gal., Min. 18" Ht. x 18" spr., 30" O.C., full to base	Yes	Yes
US1 STREETSCAPE					
	FAK2	353	Tripsacum floridanum / Dwarf Fakahatchee Grass Min. 18" Ht. x 18" spr., 18" O.C., full dense shrub, full to edge of pot. NOTE: IF PERMITTED BY SEACOAST & FDOT	Yes	Yes
GROUND COVERS					
	AGE	2,208	Arachis glabrata 'Ecoturf' / Perennial Peanut Min. 1 Gal. 6" Ht. x 12" Spr., 18" O.C. Full to Edge of Pot	No	Yes
	FIC	1,879	Ficus microcarpa 'Green Island' / Green Island Ficus Min. 3 Gal., 12" Ht. x 12" Spr., 18" O.C., Fully Rooted and Dense	No	Yes
	HDS	345	Helianthus debilis / Dune Sunflower Min. 3 Gal., 12" Ht. x 12" Spr., 24" O.C., Fully Rooted and Dense	Yes	Yes
	LME	754	Liriope muscari 'Emerald Goddess' / Liriope Min. 1 Gal. 12" Ht. x 12" Spr., 18" O.C. Full to Edge of Pot	No	Yes
SOD AND MULCH					
	SOD	12,010 sf	Stenotaphrum secundatum / St. Augustine Grass Laid flat. No Gaps, Rolled and Sanded to create a uniform flat mowing surface. Weed and Disease Free, Laid spgr. Staggered joints	No	No

- DROUGHT TOLERANT RATING BASED UPON SPNWD WATERWISSE PUBLICATION - SOUTH FLORIDA EDITION
- ALL PLANT MATERIAL SPECIFICATIONS AND CONTAINER SIZES LISTED IN THE PROJECT PLANT SCHEDULE ARE REQUIRED MINIMUMS. ALL PLANT MATERIAL SHALL BE FLORIDA # 1 OR BETTER. CONTRACTOR CAN EXCEED THE REQUIRED MINIMUM SPECIFICATION AND CONTAINER SIZE BASED ON MATERIAL AVAILABILITY.
- ALL PLANT MATERIAL SHALL MEET AND ADHERE TO FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS. THE LANDSCAPE ARCHITECT OR CLIENT HAVE THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING THESE STANDARDS.

LANDSCAPE DATA

REQUIRED LANDSCAPING

- MISCELLANEOUS LANDSCAPE ELEMENTS (PER SEC. 45-88) PLAN COMPLES. SEE SITE AND LANDSCAPE PLAN
- OFF-STREET PARKING LOTS (PER SEC. 45-89)

BUFFER
REQUIRED: MIN. 5' EAST BUFFER (538 LF.)
TREES @ 30' O.C. = 18 TREES / CON'T HEDGE 3' HT.
PROVIDED: 26 TREES (17 CANOPY TREES PLUS 27 PALMS @ 3:1 CREDIT)

INTERIOR & TERMINAL ISLANDS
REQUIRED: 1 SHADE TREE PER ISLAND
PROVIDED: 21 SHADE TREES (19 SHADE TREES, 6 PALMS @ 3:1 CREDIT)

- SITE PERIMETERS - CM-U DISTRICT (PER SEC. 45-90)

WEST FRONT YARD
586 L.F. - N/A PER SEC. 45-31.E.6 (BLDG. A, B & C STOREFRONT BUILDING FRONTAGE)

NORTH FRONT YARD
WESTERN 193 L.F. - N/A PER SECT 45-31.E.6 (BLDG. A STOREFRONT BUILDING FRONTAGE)

EASTERN 95 L.F.:
REQUIRED: 5' BUFFER/TREES AT 30' O.C. = 3 TREES/CON'T HEDGE 3' HT.
PROVIDED: +5' BUFFER
3 TREES (2 TREES PLUS 3 PALMS @ 3:1 CREDIT) *
3' HEDGE*

* TREE SPACING EXCEEDS 30' O.C. DUE TO THE WIDTH OF THE ENTRY DRIVEWAY & 5' SIDEWALK PLUS MIN. OFFSETS NEEDED BETWEEN PAVEMENT AND TREES.
** HEDGE IS PROVIDED IN ADJACENT LANDSCAPE ISLAND TO ADDRESS SIGHT LINES AT DRIVEWAY ENTRANCE.

SOUTH SIDE YARD
NOT APPLICABLE FOR CM-U

EAST REAR YARD
SEE OFF STREET PARKING LOT BUFFER REQUIRED/PROVIDED ABOVE

- BASE OF FOUNDATION (PER SEC. 45-91)
REQUIRED / PROVIDED: MIN. 5' PLANTING AREA @ 40% OF FACADE *
* NOT REQUIRED FOR BUILDING A, B & C STOREFRONT BUILDING FRONTAGE (REFER TO SHEET RP-4 FOR COMPLIANCE DIAGRAM)

- SPECIES MIX
REQUIRED = 6 SPECIES
PROVIDED = 7 SPECIES

- NATIVE CLASSIFICATION
TOTAL TREES PROVIDED = 84 (Tibouchina and Plumeria not included)
% NATIVE = 42 NATIVE TREES / 50%

TOTAL PALMS PROVIDED = 140 (Licuala Palms not included)
% NATIVE = 71 NATIVE PALMS / 51%

TOTAL SHRUBS & HEDGES PROVIDED = 2,477
% NATIVE = 1,923 NATIVE SHRUBS / 78%

LANDSCAPE POINTS TO EXCEED MINIMUM STANDARDS (PER SEC. 45-87.D)

REQUIRED: 100 PTS. FOR 1 AND 2 AC. 200 POINTS (FOR 4.09 AC.PARCEL)
PLUS 50 PTS. PER EA. ADD'L ACRE

PROVIDED:

NATIVE TREES (1 - (IF > 5' DBH) (20 POINTS PER TREE RETAINED OR PLANTED PLUS 1 POINT FOR EACH INCH > 5" DBH)
#20 12" LIVE OAK (27 PTS), #22 17" LIVE OAK (32 PTS), #27 13.5" LIVE OAK (28.5 PTS), #28 22" LIVE OAK (37 PTS), #93 17.5 LIVE OAK (32.5 PTS), #94 17.5" LIVE OAK (32.5 PTS)

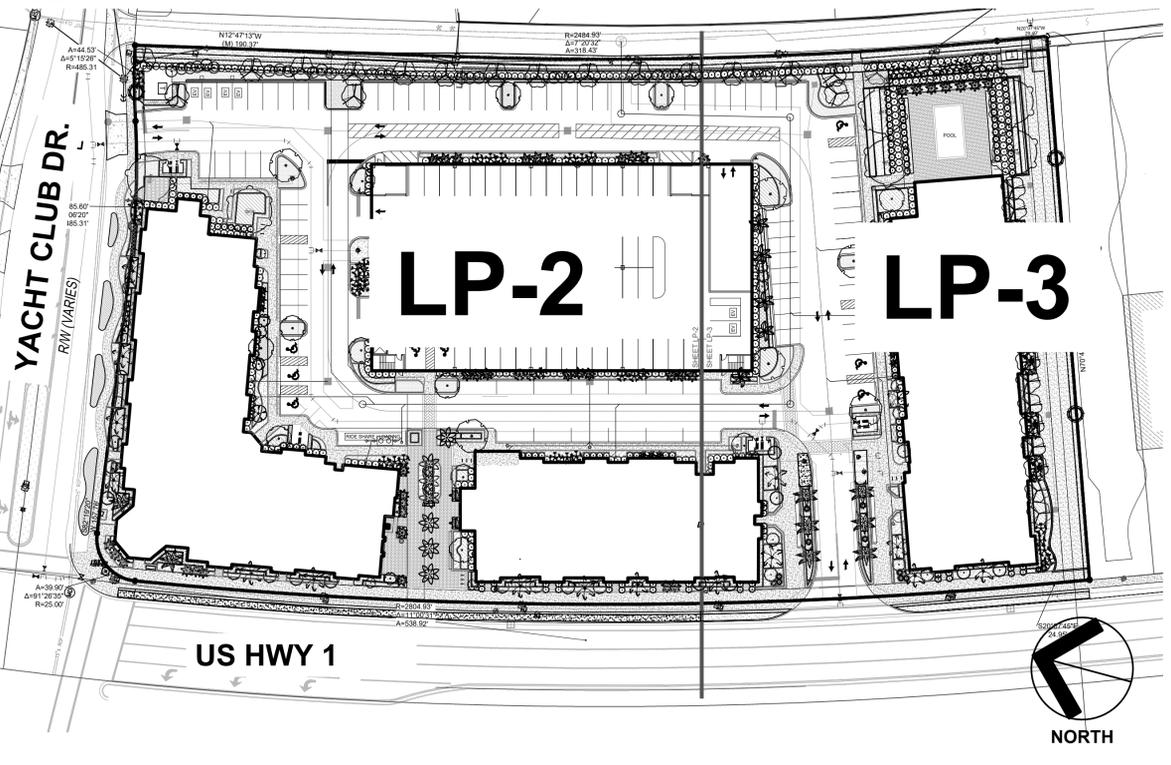
COURTYARDS, LOGGIAS, PATIOS AND SIMILAR OPEN AREAS AVAILABLE FOR PUBLIC USE (50 POINTS PER PUBLIC OPEN AREA)

TOTAL PROVIDED POINTS

289.5 POINTS (FOR 4.09 AC.PARCEL)

OVERALL LANDSCAPE REFERENCE PLAN

SCALE: 1" = 50'-0"



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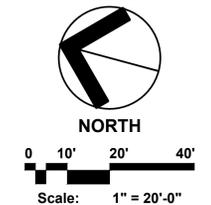
Urban Planning & Design Landscape Architecture Communication Graphics

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REVISION DATES (CONTINUED)
AA#1 Submittal 2025-04-18

200 YACHT CLUB DRIVE Mixed-Use Residential North Palm Beach, Florida Landscape Plan - Cover Sheet

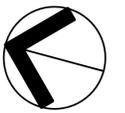


Date: December 1, 2020
Project No.: 20-013.000
Designed By: TRM
Drawn By: TRM
Checked By: MC / RD

Revision Dates:
2020-12-01 SP REVIEW SUBMITTAL
2021-02-16 DRC RESPONSE RESUBMITTAL
2021-07-09 DRC RESUBMITTAL
2021-09-17 DRC RESUBMITTAL
2021-10-29 DRC RESUBMITTAL #4 (Fire&SUA)
2022-07-11 Remand Resubmittal
2022-08-19 DRC Resubmittal
2023-06-30 SPR Resubmittal
2023-08-18 SPR Resubmittal
2023-09-01 SPR Resubmittal

LP-1 of 6

200 YACHT CLUB DRIVE Mixed-Use Residential North Palm Beach, Florida Landscape Plan

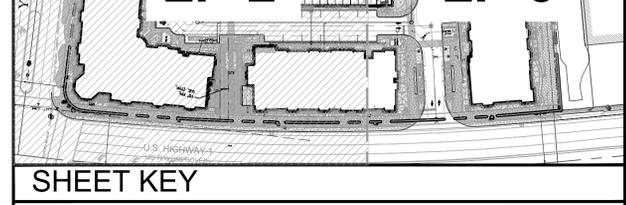
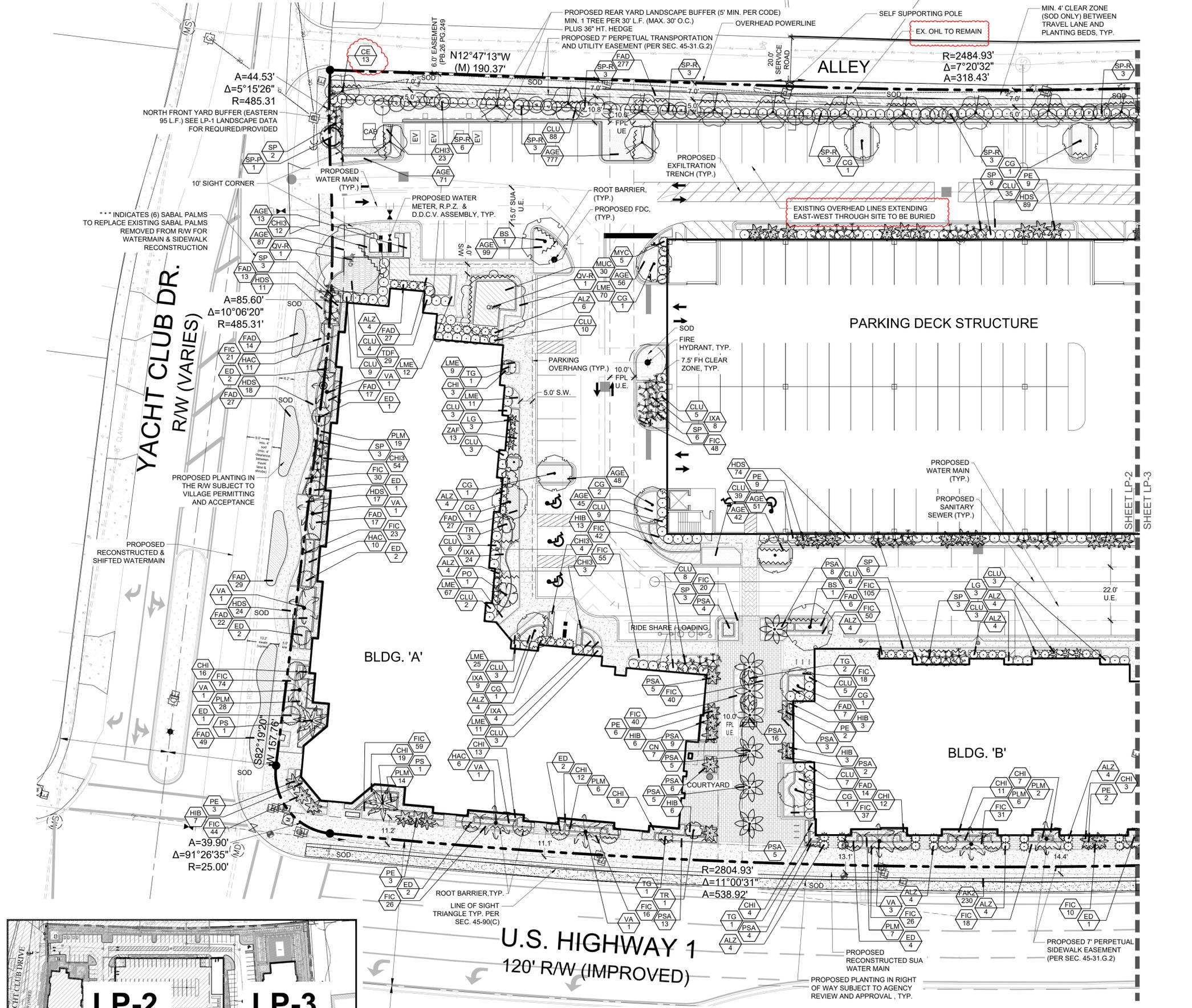


0 10' 20' 40'
Scale: 1" = 20'-0"

Date: December 1, 2020
Project No.: 20-013.000
Designed By: TRM
Drawn By: TRM
Checked By: MC / RD

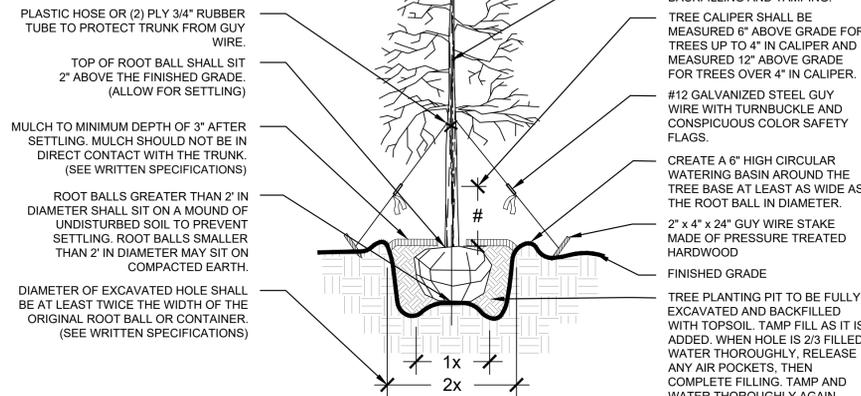
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2022-08-19 DRC Resubmittal
2023-06-30 SPR Resubmittal
2023-08-18 SPR Resubmittal
2023-09-01 SPR Resubmittal

SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES		
BS	BS	Bursera simaruba / Gumbo Limbo Min. 12' Ht. x 5" Spr., Min. 3" Cal., Single stemmed, Full even crown
CG	CG	Cassia surattensis / Glaucous Cassia 12' Ht. x 5" Spr., Min. 2" Cal., Single stemmed, Full even crown
CE	CE	Conocarpus erectus 'serotens' / Silver Buttonwood 12' Ht. x 5" Spr., Min. 2.5" Cal., Single stemmed, Full even crown
ED	ED	Elaeocarpus decipiens / Japanese Blueberry Tree 12' Ht. x 5" Spr., 2.5" Cal., 5" CT, Full Dense Canopy
PE	PE	Plumeria obtusa / Singapore White Plumeria 8' Ht. x 4" Spr., Min.
TG	TG	Tournefortia grandiflora / Purple Glory Tree 6' Ht. x 4" Spr. 1.5" Cal. Straight Trunk
PALM TREES		
CN	CN	Cocon nucifera 'Green Malaysian' / Coconut Palm 14' G.W., Matched Heights, Heavy Straight Trunk, No Tapering GW, No Scars, Full Crown
LG	LG	Licuala grandis / Licuala Palm Sun Grown, 4' Ht. x 3" Spr.
PS	PS	Phoenix syriensis / Wild Date Palm 16' G.W., Matched Heights, Heavy Straight Trunk, No Tapering GW, No Scars, Full Crown
PE	PE	Pythosperma elegans / Alexander Palm 10' Cl. 16" O.A. Ht. Single Trunk, Full Head, No Scanned Trunk
RE12	RE12	Royalties elata / Florida Royal Palm 12' G.W., Matched Heights, Heavy Straight Trunk, No Tapering GW, No Scars, Full Crown
SP	SP	Sabal palmetto / Cabbage Palmetto 8'-12' C.T. Varying Heights, Slack Straight Trunk, Hurricane Cut (NOTE: 34 SABAL PALMS TO BE ALLOCATED TOWARDS REPLACEMENT FOR 34 SABALS REMOVED (1:1 REPLACEMENT))
TR	TR	Thrinax radiata / Florida Thatch Palm 6' Cl. 8" O.A. Ht. Single Trunk, Full Head
VA	VA	Vectris arcana / Montgomery Palm 12' G.W., Matched Heights, Heavy Straight Trunk, No Scars, Full Crown
RELOCATED TREES		
QVR	QVR	Quercus virginiana / Southern Live Oak (RELOCATED) Existing Live Oak Tree relocated from on-site (Tag #s 20, 22, 27, 28, 33, 34). Refer to Tree Disposition Tabular
SP-R	SP-R	Sabal palmetto / Cabbage Palmetto (RELOCATED) EXISTING TREE RELOCATED FROM ELSEWHERE ON SITE
PRESERVED TREES		
SP-P	SP-P	Sabal palmetto / Cabbage Palmetto Existing to remain
SHRUBS		
ALZ	ALZ	Alpinia zerumbet / Shell Ginger 7 Gal., Min. 36" Ht., 36" Spr., 48" O.C. Full Dense Shrub.
CLU	CLU	Clusia guifera / Small Leaf Clusia 3 Gal., Min. 36" Ht., 36" Spr., 48" O.C. Full dense shrub.
CAQ	CAQ	Croton augustum / Queen Emma / Queen Emma Citrus Lily 7 Gal., Min. 36" Ht., 36" Spr., 36" O.C. Full Dense Shrub
MYC	MYC	Myrica cerifera / Wax Myrtle 7 Gal., Min. 36" Ht., 36" Spr., 48" O.C. Full dense shrub.
LARGE SHRUBS		
CH3	CH3	Chrysobalanus icaco 'Red Tipped' / Horizontal Coccoloba Min. 7 Gal., Min. 24" Ht. x 24" Spr. 30" O.C. Full and Dense Shrub, Full to Base
MEDIUM SHRUBS		
CHI	CHI	Chrysobalanus icaco 'Horizontalis' / Horizontal Coccoloba Min. 3 Gal., Min. 24" Ht. x 24" Spr. 30" O.C. Full and Dense Shrub, Full to Base
HAC	HAC	Hamelia patens 'Compacta' / Dwarf Firebush Min. 3 Gal., Min. 24" Ht. x 24" Spr., 30" O.C., Fully Rooted and Dense
HB	HB	Hibiscus rosa-sinensis 'Seminole Pink' / Seminole Pink Hibiscus Min. 3 Gal., Min. 24" Ht. x 24" Spr. 30" O.C. Full and Dense Shrub, Full to Base
IXA	IXA	Ixora coccinea 'Nora Grant' / Nora Grant Pink Ixora Min. 3 Gal., Min. 24" Ht. x 24" Spr. 30" O.C., Fully Rooted and Dense
MUC	MUC	Muhlenbergia capillaris / Pink Muhly Min. 3 Gal., Min. 24" Ht. x 24" Spr. 36" O.C. Full and Dense Shrub, Full to Edge of Pot
PSA	PSA	Pennisetum setaceum 'Alba' / White Fountain Grass Min. 3 Gal., Min. 24" Ht. x 24" spr., 30" O.C., Full dense plant
PLM	PLM	Plumbago auriculata / Blue Plumbago Min. 3 Gal., Min. 24" Ht. x 24" spr., 30" O.C., Full dense plant
TDF	TDF	Tripsacum dactyloides / Fakahatchee Grass Min. 3 Gal., Min. 24" Ht. x 18" Spr. 36" O.C. Full and Dense Shrub, Full to Base
FAD	FAD	Tripsacum floridanum / Fakahatchee Grass 'Dwarf' Min. 3 Gal., Min. 24" Ht. x 24" spr., 30" O.C., Full dense plant
ZAF	ZAF	Zamia floridana / Coontie 3 Gal., Min. 18" Ht. x 18" spr., 30" O.C., full to base
USI STREETSCAPE		
FAK2	FAK2	Tripsacum floridanum / Dwarf Fakahatchee Grass Min. 18" Ht. x 18" spr., 18" O.C., full dense shrub, full to edge of pot. NOTE: IF PERMITTED BY SEPCOAST & FOOT
GROUND COVERS		
AGE	AGE	Arachis glabrata 'Ecoturf' / Perennial Peanut Min. 1 Gal. 6" Ht. x 12" Spr., 18" O.C. Full to Edge of Pot
FIC	FIC	Ficus microcarpa 'Green Island' / Green Island Ficus Min. 3 Gal., 12" Ht. x 12" Spr., 18" O.C., Fully Rooted and Dense
HDS	HDS	Helianthus debilis / Dune Sunflower Min. 3 Gal., 12" Ht. x 12" Spr., 24" O.C., Fully Rooted and Dense
LME	LME	Liriope muscari 'Emerald Goddess' / Liriope Min. 1 Gal. 12" Ht. x 12" Spr., 18" O.C. Full to Edge of Pot
SOD AND MULCH		
SOD	SOD	Sternotaphrum secundatum / St. Augustine Grass Laid flat, No Gaps, Rolled and Sanded to create a uniform flat mowing surface, Weed and Disease Free, Last tight, Staggered joints



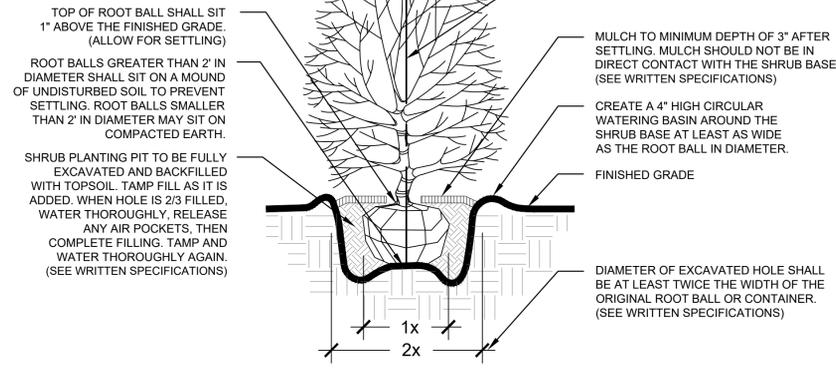
LEGEND:	
EX.	EXISTING
T.B.A.	TO BE ABANDONED OR RELEASED
U.E.	UTILITY EASEMENT
CAB=	FPL CABINET
~	ROOT BARRIER
D	REFUSE (DUMPSTER) ENCLOSURE (MIN. 6' HT. SCREEN WALL W/ OPAQUE GATE AT OPENING - SEE SHEET RP-2)
⊕	EXISTING CONCRETE POWER OR LIGHT POLE
⊕	PROPOSED SITE LIGHTING SEE PHOTOMETRIC PLAN
⊙	PRELIMINARY BENCH / PUBLIC SEATING LOCATION.

- NOTES:
1. ALL TREES SHALL MEET FLORIDA #1 OR BETTER STANDARDS.
 2. REMOVE ALL NON-ORGANIC BINDING AND SHIPPING MATERIAL FROM THE TREE AND ROOT BALL.
 3. ANY PRUNING SHALL BE COMPLETED AT THE DIRECTION OF THE OWNER OR LANDSCAPE ARCHITECT.
 4. NO NAILS SHALL BE DRIVEN INTO TREE AND TRUNK SHALL BE FREE OF ANY MAJOR SCARS.
 5. ADD FERTILIZER AS DIRECTED IN WRITTEN SPECIFICATIONS.



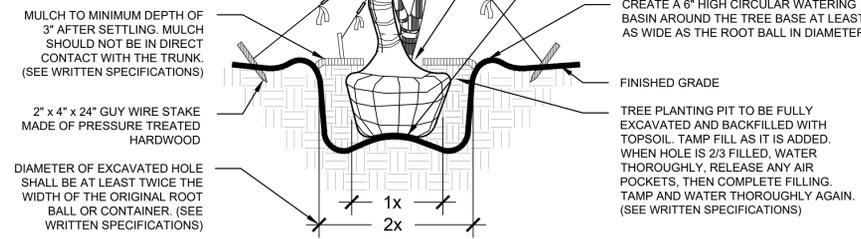
TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
1. ALL SHRUBS SHALL MEET FLORIDA #1 GRADE OR BETTER STANDARDS.
 2. REMOVE ALL NON-ORGANIC BINDING AND SHIPPING MATERIAL FROM THE SHRUB AND ROOT BALL.
 3. ANY PRUNING SHALL BE COMPLETED AT THE DIRECTION OF THE OWNER OR LANDSCAPE ARCHITECT.
 4. ADD FERTILIZER AS DIRECTED IN WRITTEN SPECIFICATIONS.



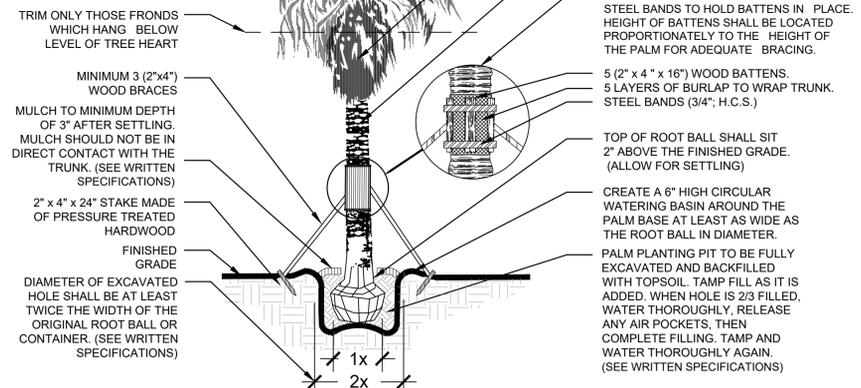
LARGE SHRUB PLANTING DETAIL
NOT TO SCALE

- NOTES:
1. ALL TREES SHALL MEET FLORIDA #1 OR BETTER STANDARDS.
 2. REMOVE ALL NON-ORGANIC BINDING AND SHIPPING MATERIAL FROM THE TREE AND ROOT BALL.
 3. ANY PRUNING SHALL BE COMPLETED AT THE DIRECTION OF THE OWNER OR LANDSCAPE ARCHITECT.
 4. NO NAILS SHALL BE DRIVEN INTO TREE AND TRUNK SHALL BE FREE OF ANY MAJOR SCARS.
 5. ADD FERTILIZER AS DIRECTED IN WRITTEN SPECIFICATIONS.

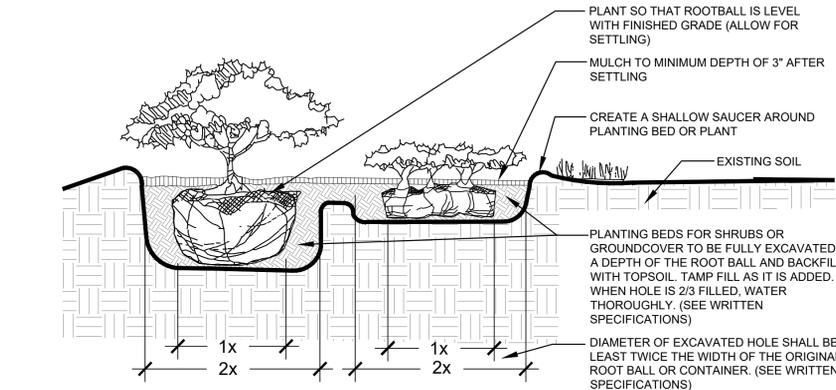


IRREGULAR & MULTI-STEM TREE PLANTING DETAIL
NOT TO SCALE

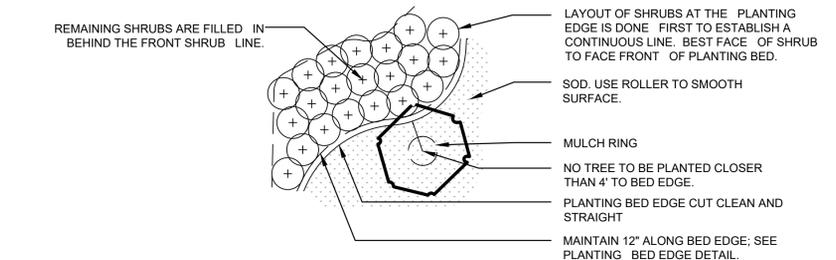
- NOTES:
1. ALL PALMS SHALL MEET FLORIDA #1 GRADE STANDARDS OR BETTER
 2. REMOVE ALL NON-ORGANIC BINDING AND SHIPPING MATERIAL FROM THE PALM AND ROOT BALL.
 3. NO NAILS SHALL BE DRIVEN INTO PALM AND TRUNK SHALL BE FREE OF ANY MAJOR SCARS.
 4. ADD FERTILIZER AS DIRECTED IN WRITTEN SPECIFICATIONS.



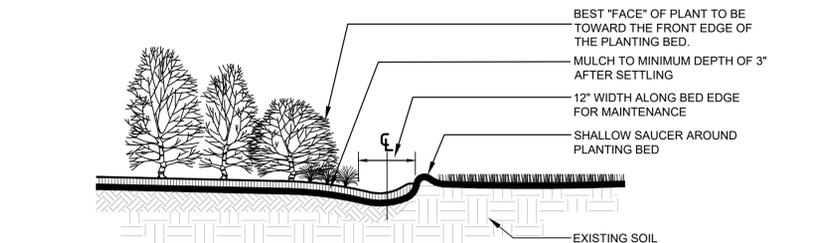
PALM PLANTING DETAIL
NOT TO SCALE



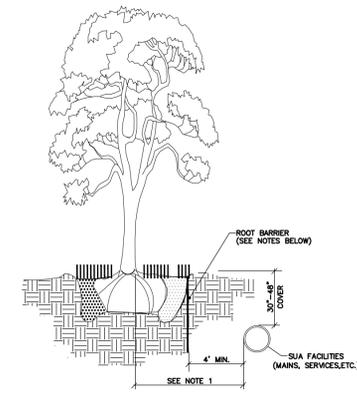
SHRUB AND GROUND COVER PLANTING DETAIL
NOT TO SCALE



SHRUB & GROUND COVER LAYOUT DETAIL
NOT TO SCALE

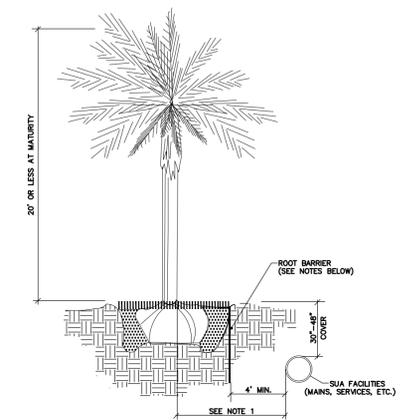


PLANTING BED EDGE DETAIL
NOT TO SCALE



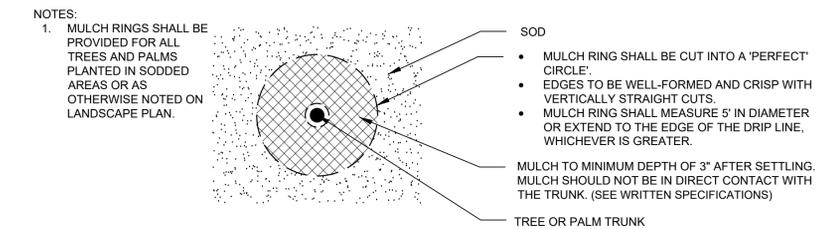
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 10' MINIMUM WITH ROOT BARRIER AND 15' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEACOAST FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT", "ROOT SOLUTIONS", AND "NDS EP SERIES".
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 6. LARGE PALM TREES INCLUDE ROYAL, WASHINGTONIAN, BISMARK AND SIMILAR SIZED SPECIES.

Typical Canopy Tree, Large or Exotic Palm Tree with Root Barrier
MAY 24, 2023 (Rev D-23)

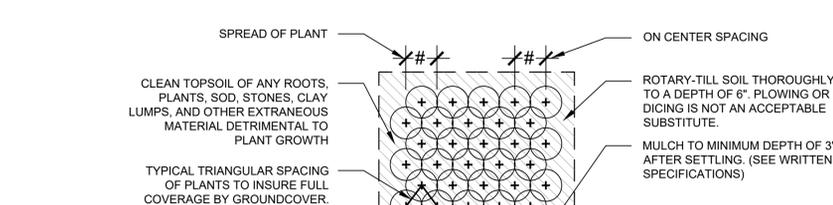


- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 7' MINIMUM WITH ROOT BARRIER AND 10' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEACOAST FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT", "ROOT SOLUTIONS", AND "NDS EP SERIES".
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Shrub, Small Tree or Palm Tree with Root Barrier
MAY 24, 2023 (Rev D-23)



MULCH RING IN SOD DETAIL
NOT TO SCALE



GROUND COVERS & ROOTED CUTTING PLANTING DETAIL
NOT TO SCALE

Tree Protection Plan

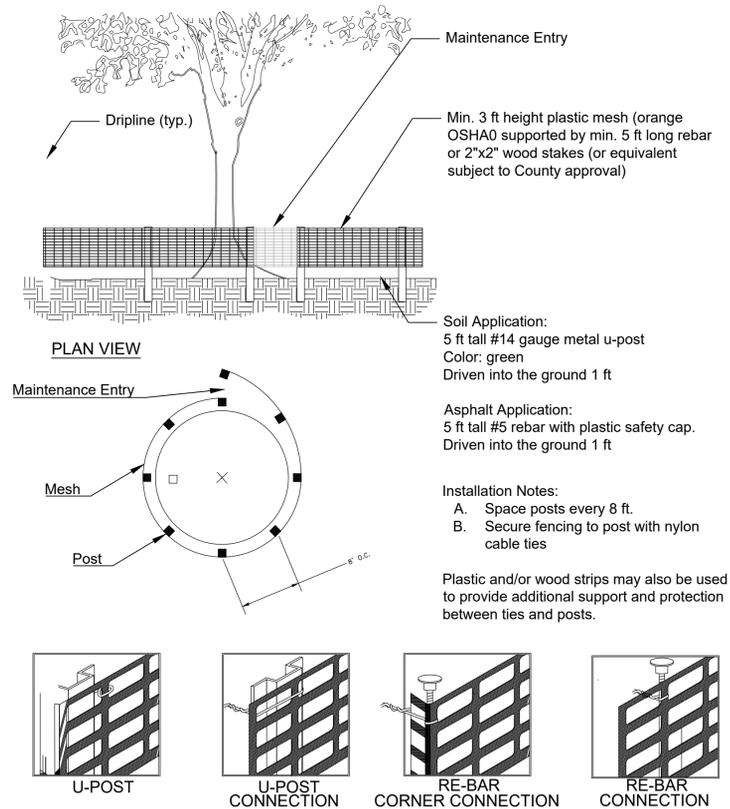
Prior to clearing any of the property for development, the contractor will do the following items:

Clearly identify and tag all trees using either plastic ribbon tied around the tree trunk or a tag that is attached to the tree trunk. The numbers shown on each tag shall correspond to the number identified on the Tree Disposition Tabular and/or the Tree Survey.

Prior to site clearing and tree removal, trees to be preserved, mitigate, relocated on-site, relocated off-site, or removed shall be identified using different color plastic ribbon or tag.

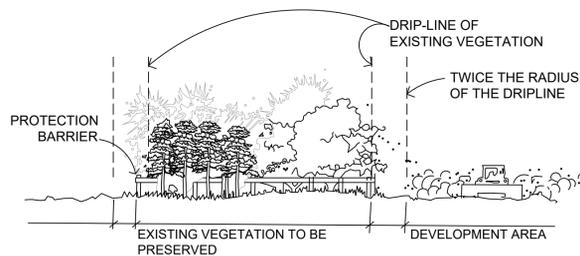
Place barricades to protect the root zones of the native vegetation to be preserved. All barricades are to remain in place until all construction activities are complete.

Trees to be preserved shall be barricaded with a minimum 3-foot high plastic mesh (orange OSHA) supported by 5-foot long rebar or 2"x2" wood stakes or equivalent as approved in conjunction with the Final Site Plan or Final Subdivision Plan.



TREE PROTECTION BARRIER DETAIL

No heavy equipment or machinery is to be used, nor any construction activities, or grade changes occur within twice the radius of the dripline of native trees which are to be preserved in place.



Protective barriers shall remain in place until they are authorized to be removed by Palm Beach County or receipt of a CO.

There shall be limited development within tree preservation areas:

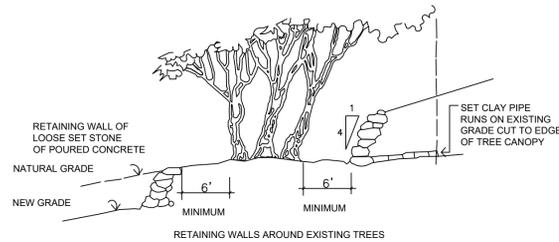
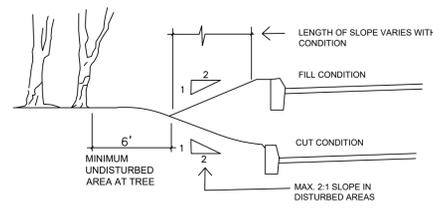
- maintained in its natural state
- provide permeable landscape natural. i.e., grass, mulch
- conform to governing landscape code.

There will be no attachment of signs, etc. to vegetation unless of a non-damaging character.

Prohibited species are to be removed by hand ONLY in preservation areas, and any herbicide applications used should follow label instructions.

No grade changes shall be made within tree preservation areas, which require trenching or cutting of roots unless conditioned. Utility lines shall be installed to protect root systems as much as possible.

No removal of soil or fill in tree preservation areas shall occur.



No clearing shall commence until all protection devices are installed, inspected and approved by the Zoning Division and Environmental Resource Management Department.

TREE RELOCATION PROGRAM

Plant Species Requirements

Live Oaks - Best time to move is in their dormant season. Worst time to move is in the spring because of their flush of new growth and lack of precipitation. They should be root pruned at least two weeks in advance of the move and need to be watered in heavily the first two weeks after transplanting.

Root Pruning and Transplanting

When it is determined that a tree or palm needs to be transplanted, it is beneficial and sometimes required that the plant be root pruned. Root pruning is done to reduce the size of an existing root ball in preparation for transplanting. The root ball is reduced to create a new root system large enough to sustain life in the tree/palm while making its move more effective for transportation. The time it takes for the root system to develop before transplanting will vary from tree to tree, depending on soil moisture content. An estimated wait time follows in the schedule listed below.

- Clear the area around the tree that has been selected.
- Determine the size of the root ball that is being prepared.

Tree Caliper	Root Ball
2-4"	36-42"
4-6"	42-48"
6-8"	48-60"
8-10"	72-84"
12-14"	84-96"
14-16"	96-108"
16-18"	108-120"
18-20"	120-132"
20-24"	132-144"
24-28"	144-156"
28-32"	156-168"
32-36"	168-180"

Sabal Palms	4' Root Ball
Coconut Palms	4-5' Root Ball
Queen Palms	4' Root Ball
Canary Island Date Palms	5-6' Root Ball
Reclinata Palms	6-8' Root Ball
Paurotis Palms	6-8' Root Ball
Sago Palms	3-4' Root Ball
Royal Palms	5-6' Root Ball

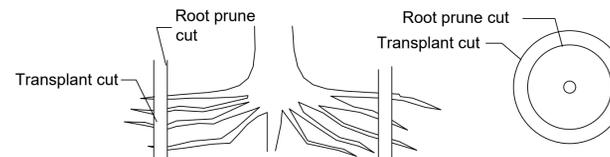
3. Palms may be cut on three sides leaving the open side toward the strongest northeast winds.

4. Broadleaf trees should be cut on two sides initially opposite each other.



Transplant cut

5. Once the ball size has been determined, mark the spot around the ball and prepare for a 1' trench around the tree. Use sharp spades for root pruning and do not cut under the root ball. Leave old cut roots on top of root ball.



6. Fill trench with existing soil with 1/3 peat humus mixed in. Leave a depression to hold water.

7. Irrigate with a mist head at root ball to help promote feeder roots and maintain watering.

8. Wait time after root pruning until transplanting per individual specifications, for differing types of plant material.

Ficus Trees	6 weeks to 90 days
Palms	6 weeks to 90 days
Oaks, 6" and under	6 weeks to 90 days
Oaks, 6" - 12"	90 days to 6 months
Oaks, 12" and above	6 months to 1 year

9. Fertilize top of ball with milorganite after root pruning.

10. Some bracing may be required after root pruning.

11. A full top will encourage feeder root growth. Previous to transplanting, remove enough top growth to balance the smaller root system. Thin out and trim back unwanted foliage and branches.

12. Cut trench for transplanting outside of root pruned trench to allow for feeder roots.

13. Lift tree from one side to break suction and peel off root ball. If it doesn't break then dig under to sever roots.

Specifications:

1. Contractor shall be responsible for locating any and all underground utilities or obstructions prior to commencing work. In case of conflict with proposed work, notify landscape architect prior to commencement of work.

2. Contractor shall provide adequate irrigation to assure the healthy establishment of relocated trees.

3. Pruning of limbs shall occur only as necessary to facilitate relocation and shall maintain the natural shape and character of tree.

4. Finish grade for top of tree plug shall meet the proposed finish grade after relocation.

5. All plant materials shall be relocated to freshly dug holes with similar size and type of tree moving equipment. The holes should be filled 1/3 with water, place tree, back fill and water in thoroughly, being sure to avoid air pockets. Provide 4"-6" dish around newly dug plant material to retain water. Water thoroughly after planting as specified.

6. All trees exhibiting shallow root systems shall be staked as required.

7. Prune, thin out and shape relocated trees, shrubs and understorey in accordance with desired effect of the landscape architect and to retain natural character. Remove all vines and exotic vegetation. Maintain relocated plant materials for a period of not less than 90 days. Maintain by watering, removing of exotic vegetation or weeds, providing insecticide applications and mulching.

8. The contractor shall protect trees during relocation procedures from scrapes, scars and undue breakage. Understorey plant material moved with primary species shall be protected against damage.

9. Landscaping contractor shall provide a one (1) year warranty on all relocated material.

Urban design studio

Urban Planning & Design
Landscape Architecture
Communication Graphics

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REVISION DATES (CONTINUED)
AA#1 Submittal 2025-04-18

200 YACHT CLUB DRIVE
Mixed-Use Residential
North Palm Beach, Florida
Tree Protection and Relocation Details

Date: December 1, 2020
Project No.: 20-013.000
Designed By: TRM
Drawn By: TRM
Checked By: MC / RD

Revision Dates:
2020-12-01 SP REVIEW SUBMITTAL
2021-02-16 DRC RESPONSE RESUBMITTAL
2021-07-09 DRC RESUBMITTAL
2021-09-17 DRC RESUBMITTAL
2021-10-29 DRC RESUBMITTAL #4 (Fire&SUA)
2022-07-11 Remand Resubmittal
2022-08-19 DRC Resubmittal
2023-06-30 SPR Resubmittal
2023-08-18 SPR Resubmittal
2023-09-01 SPR Resubmittal

LP-5
of 6

**SECTION 02950
TREES, SHRUBS AND GROUND COVER**

PART I - GENERAL

By bidding on this project and/or signing a contract for landscape work, the Contractor acknowledges that he/she has read and understood these specifications in their entirety, that he/she has inspected the site and will abide by all plans, specifications, and conditions found herein. Any perceived conflicts or concerns within the specifications or on the plant list, including unavailability of materials, are to be brought to the attention of the Landscape Architect prior to bid submission.

1.01 WORK INCLUDED

- A. Contractor shall obtain or ensure that all necessary permits have been granted to the Owner for work on the Owner's properties or in any adjacent easements prior to commencement of work.
- B. All planting and construction work shall be executed as shown on the provided drawings, schedules, and specifications.
- C. Any additional work or materials required to install landscape elements as called for on the plans, specifications or plant list shall be provided and installed by the Contractor.
- D. Finish Grade Elevations: 2 inch below top of pathway edging.
- E. The Contractor shall be entirely responsible for all work until final acceptance by the Owner. The Contractor shall protect all materials and work against injury and shall provide and maintain all necessary guards for the protection of the public. He shall be held responsible for any negligence during the execution of the work.

1.02 QUALITY ASSURANCE

- A. All work specified herein shall be performed by a single firm specializing in landscape work. The Landscape Architect and the Owner retain the right to approve any proposed subcontractors prior to awarding the contract.
- B. Ship landscape materials with certificates of inspection required by governing authorities. Comply with all regulations applicable to landscape materials.
- C. Package standard products with manufacturers certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable.
- D. Provide trees, palms, shrubs and groundcover grown in a recognized nursery in accordance with good horticultural practice. Materials must be healthy and vigorous, free of disease, insects, eggs, larvae, and defects such as decay, rot, knots, sun scald, injuries, abrasions, splitting or unusual form. No collected material will be permitted unless specifically written approval is granted.
- E. Do not make substitutions. If specified landscape material is not available at time of planting, submit proof of non-availability and provide a list of proposed equivalent material. Once authorized, adjustments to the contract will be made. Owner is not financially responsible for unauthorized substitutions.
- F. Plant materials of larger size than specified may be used if acceptable to Landscape Architect and if sizes of root balls are increased proportionately. Installation of larger sizes will not increase contract amount unless specifically authorized by Owner.
- G. Owner and Landscape Architect reserve the right to inspect, approve or reject at any time plant materials to work either at the nursery or at the site which does not meet the condition in the plans, plant list or specifications.
- H. The Contractor shall be responsible for planting the landscape in complete accordance with all applicable codes, ordinances, and laws. Any modification made to conform with said codes, laws and ordinances, after the bid is awarded, shall be completed at the Contractor's expense at no additional cost to the Owner.

1.03 SUBMITTALS

- A. Certification: Submit certificates of inspections as required by governmental authorities, and manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements.
- B. Submit seed catalogs, seed mixture required, staking botanical and common name, percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species.
- C. Planting Schedule: Submit planting schedule showing schedule dates for each type of planting in each area of site.
- D. Submit maintenance procedures: Submit typewritten procedures for maintenance of landscape work, through final acceptance.

1.04 DELIVERY, STORAGE AND HANDLING

- A. **Packaged Materials:** Deliver packaged materials in original containers showing manufacturer's guaranteed name of manufacturer. Protect materials from damage and deterioration during delivery and storage.
- B. Trees, shrubs, and ground covers: Provide freshly dug trees, palms, and shrubs. Do not prune prior to delivery. All plants shall be handled and stored so that they are adequately protected from drying out, from sun or wind burn, and from any other injury at all times. Any plant determined to be wilted or burned may be rejected at any time, whether in the ground or not. Plants shall be handled only by their containers or root balls, not by stems or trunks. Trees that are scraped or scarred during delivery, storage, or planting will be rejected. The on-site storage area shall be approved prior to the delivery of any plant materials. Do not bend or bind plants in such a manner as to damage bark, break branches, or destroy natural shape. Provide protective covering during delivery.
- C. Deliver plant materials in containers for planting are complete, and plant immediately. Roots or balls of all plants shall be adequately protected at all times from sun and/or wind. Balled and burlapped (B&B) plants that cannot be planted immediately upon delivery shall be set on the ground and protected by having soil, wet peat, or other acceptable material covering the roots or balls keeping them moist.
- D. Do not remove contents from containers until planting time.
- E. Label at least one tree, one palm and one shrub of each variety with a securely attached waterproof tag bearing legible designation of botanical and common name, if requested by Owner.
- F. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.

1.05 JOB CONDITIONS

- A. Proceed with and complete landscape work as rapidly as portions of site become available.
- B. Utilities: Determine location of overhead and underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required, Forty eight (48) hours prior to digging, call the appropriate Utility Authority to have all utilities identified and marked in order to avoid conflicts.
- C. Protection of Existing Structures: All existing buildings, walks, walls, paving, piping, and other items of construction and planting already completed or established shall be protected from damage. All damage resulting from negligence shall be repaired or replaced, including but not limited to marks on pavers and cracks within existing walkways caused by the Contractor. The Owner may, at his discretion have any damage repaired by others and subsequently costs back-charged to the Contractor.
- D. Protection of Existing Plant Material: The Contractor shall be responsible for all unauthorized cutting or damage to existing trees or shrubs caused by careless operation of equipment, stockpiling of materials, etc. This shall include compaction by driving or parking inside the drip-line of any tree, or spilling of oil, gasoline, or other deleterious materials within the drip-line of any tree. No materials shall be burned.
- E. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.

PART II - PRODUCTS

2.01 TOPSOIL

- A. The Contractor is required to obtain a soil sample and perform a soil analysis test to determine the existing soil composition and conclude whether it complies with the composition criteria below.
- B. Where topsoil does not meet the specified limits within the project site, it shall be furnished. Throughout all parts of site where finish grades and contour lines differ from existing contour lines, bring to finish grade contours shown on "Grading Plan."
- C. Topsoil shall be friable, fertile soil with representative characteristics of local soils. It shall be free of heavy clay, marl, stone, extraneous lime, plant roots, refuse and/or solid waste, sticks, brush, construction demolition debris, and any other deleterious materials. There shall be no noxious weeds or weed seeds (i.e., nut grass, Bermuda grass and the like). In no case shall there be more than five percent (5%) by dry weight of clay lumps or stones larger than 1". It shall test in the pH range of 6.0 to 7.2 and shall contain no substance that will impede plant growth. The Contractor shall have topsoil laboratory tested at his expense and approved by Landscape Architect or Owner prior to material delivery.

Topsoil shall conform to the following specifications:

COMPONENTS	DRY WEIGHT MEASURE	PARTICLE SIZE
Organic Matter	2% - 7%	
Silt/Clay	2% - 10%	< 0.074 mm
Sand	85% - 98%	0.075 - 3.00 mm
Gravel	0% - 5%	4.75 mm - 1 inch

The analysis shall also show the following ranges:

Soluble salt	2 - 1.0mmhos/cm
Nitrogen	25-150 PPM
Phosphorus	26 - 39 PPM
Potassium	50 - 250 PPM
Calcium	500 - 2500 PPM
Magnesium	50 - 500 PPM
Iron	2.5 - 25 PPM
Manganese	2.5 - 25 PPM
Zinc	2.5 - 25 PPM
Copper	1.3 - 5 PPM
Boron	0.5 - 1.5 PPM
Sulphur	15 - 200 PPM
Chlorine	less than 100 PPM
Sodium	less than 10
Nematodes	none

2.02 SOIL AMENDMENTS AND FERTILIZERS

- A. Peat Moss: Peat moss shall be a commercial, baled sphagnum material, free of woody material, minerals, or foreign matter, with a pH range of 3.0 - 5.5.
- B. Sand: Sand shall be clean, sharp, and free of all deleterious material.
- C. Lime: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than 90% passes a 10-mesh sieve and not less than 50% passes a 100-mesh sieve.
- D. Humus Soil Conditioner: Consisting of yard trimmings and biosolids co-compost.
- E. Fertilizer: Fertilizer shall be a commercial grade, granular, slow release "pre-plant" type fertilizer.
 - 1. Fertilizer shall be delivered to the site in the original unopened container, bearing the manufacturer's guaranteed analysis. Any opened, caked, or damaged fertilizer will be rejected.
 - 2. Tree, palm, shrub and grass fertilizer shall be "UF (University of Florida) Formulated" product 8-2-12 or 8-2-13 with minor elements as an all-purpose fertilizer, or equal, and applied according to the manufacturer's direction.
 - 3. Any additional work or materials required to comply with the current recommendations of the Green Industries - Best Management Practices.
 - 4. Fertilizer shall be applied by an individual who has successfully completed the GI-BMP program and holds a current Urban Fertilizer License or as required by the State and Local Ordinances.

2.03 WATER

- A. All water necessary for planting and maintenance shall be of satisfactory quality to sustain adequate growth of plants and shall not contain harmful, natural or man-made elements detrimental to plants.

2.04 OTHER LANDSCAPE PRODUCTS

- A. Mulch: Mulch shall be shredded Melaleuca, Eucalyptus, Grade "A" Pine Bark Nuggets, or approved equal, free of foreign materials and weed seeds. Minimum depth under setting shall be 3".
- B. Guying and Bracing: Tree guying and bracing shall be the responsibility of the Contractor in accordance with the planting details to insure stability and maintain plants in an upright position.
- C. Anti-desiccant: Anti-desiccant shall be "Wiltruf" or equal, if specified on plans.
- D. Tree Wound Paint: Tree wound paint shall be an asphaltic base paint containing an antibacterial agent, specially prepared for tree surgery work.
- E. Super Absorbent Polymer: Terra Sorb™ or approved equal as packaged in 3 oz. Handy Pac composed of synthetic acrylamide copolymer, potassium, acrylate. Particle size of 1.0 mm to 3.0 mm and absorption rate of 300 times its weight in water, if specified on plans.

Apply dry, using the following amounts:

- 1. For trees and palms up to 36" diameter root ball, use one 3 oz. Handy Pac.
- 2. For trees and palms over 36" diameter root ball use two 3 oz.
- 3. Handy Pacs: Broadcast throughout planting hole and backfill as per manufacturers specifications.

For container grown plants:

Container Size	Application Rate
1 Gallon	1 Handy Pac / 9 Containers
3 Gallons	1 Handy Pac / 4 Containers
7-10 Gallons	1 Handy Pac / 2 Containers
20 Gallons	1 Handy Pac / 1 Container

2.05 PLANT MATERIAL

- A. Plant list is part of this specification section. The Contractor shall be responsible for furnishing and installing all plant materials shown on the drawings and plant list. In case of conflict between the two documents, the drawings shall rule.
- B. Quality: Trees, palms, shrubs, and other plants shall be Florida #1 or better as defined in the latest edition of Grades and Standards for Nursery Plants, Florida Department of Agriculture and Consumer Services. Multi-trunked trees will not be accepted unless they are specifically specified in the planting plans. All plants shall have a normal habit of growth and shall be sound, healthy, and vigorous. Trees shall have normal well-developed branching structures and vigorous root systems that are not rot or container bound.
 - 1. Balled and burlapped plants (BB or b&b) shall be dug with firm, natural balls of earth, of sufficient depth and diameter to include the fibrous and feeding roots. Plants with cracked, dry, or broken balls will not be accepted, nor will plants with root balls of insufficient size.
 - 2. All plants, other than those collected on site, shall be nursery grown in accordance with good horticultural practices and under climatic conditions similar to the site for at least two years. Transplanting or root pruning shall have taken place during growth.
- C. Size: Plant sizes shown in the plant list are minimums. When a plant size is given by height and spread or by container size, all specifications are minimums to be met or exceeded. All trees and shrubs shall be measured when their branches are in a normal position. Spread dimensions specified refer to the main body of the plant and not from extreme branch tip to tip. Height is measured from the ground line to the average height of the canopy. Measurement does not include any terminal growth; the container or root ball is also not included.

- Unless otherwise specified, the determining measurement for trees shall be caliper, which shall be measured 6" above the ground for trees up to 4" in caliper, and 12" above the ground for trees over 4" caliper.
- 2.06 GRASS MATERIALS**
- A. Types: Sod type shall be as specified on the provided landscape plan and associated plant schedule.
 - B. Dimensions: The sod shall be taken up in commercial size rectangles, preferably 12-inch x 24-inch.
 - C. Measurement: Sod shall be measured on the basis of square footage. Contractor shall be responsible for complete coverage based on the square footage shown on plans; therefore, Contractor shall factor in cutting and shrinkage of materials.
 - D. The sod shall be sufficiently thick to provide a dense stand of live grass. The sod shall be live, manner which will avoid possible damage. Hand excavate, as required, Forty eight (48) hours prior to digging, call the appropriate Utility Authority to have all utilities identified and marked in order to avoid conflicts.
 - E. It shall be 2" thick, adhering firmly to the roots to withstand all necessary handling. It shall be free of weeds and other grasses. It shall be planted as soon as possible after being dug, and shall be shaded and kept moist from the time it is dug until it is planted. After approval, the area from which the sod is to be harvested shall be closely mowed and raked as necessary to remove excessive top growth and debris.

2.07 REJECTION, SUBSTITUTION, AND RELOCATION

- A. All plants not conforming to the requirements herein specified shall be considered defective and such plants shall be marked as rejected and removed from the site whether in the ground or not, at the Contractor's expense. Such removal shall take place immediately and new plants shall be brought in as replacements. The plant materials must meet all applicable inspections required by law.
- B. The Owner or Landscape Architect also reserves the right to require that plants be relocated after installation if their initial installation does not conform to the plans or the intent of the plans, or if the original location poses an unforeseen threat to other facilities, human life, health, or safety, or to site utilities. Such relocation shall be at the Contractor's expense.

PART III - EXECUTION

3.01 GENERAL

- A. Proceed with and complete landscape work as rapidly as portions of the site become available.
- B. No planting shall be done until all operations in conjunction with the installation of the sprinkler system have been completed, final grades have been established, planting areas have been properly graded and prepared.
- C. Adverse Conditions: When conditions potentially detrimental to plant growth are encountered during work, such as rubble or refuse fill, adverse drainage conditions, or obstructions, notify Owner or Landscape Architect before planting.
- D. Work Scheduling: Work is to be scheduled to establish a logical sequence of steps for completion of each type and phase of landscape work, in such a way as to correspond with, and avoid damage and conflict with, other disciplines on site.
- E. All planting beds and individual plantings shall be mulched only after final grades are established, and prior to sodding or lawn establishment. If such planting must be done after lawn work, protect lawn/sod areas during planting and promptly repair any resulting damage.
- F. Timing:
 - 1. Planting work shall not be started until the final subgrade has been established, berms have been constructed and fine finished grading completed.
 - 2. Under no conditions shall work be done if weather or soil conditions are not satisfactory.
- G. Clean-up:
 - 1. At all times during the construction and installation, the site shall be maintained in a clean, orderly and safe condition. Streets and pavements shall be kept clean. Materials and equipment for planting work shall be limited to the quantity required for the particular phase of work currently underway on the job site.
 - 2. Protect landscape work and materials from damage due to landscape installation and maintenance operations, operations by other contractors and trades, and trespassers. Maintain protection during installation, Maintenance and Establishment periods. Treat, repair or replace damaged landscape work as directed.

3.02 SOIL PREPARATION

- A. Grading and soil preparation work shall be performed only during periods when best results can be obtained. If the moisture content of the soil is high enough that work would damage soil structure, grading and tilling operations shall be suspended.
- B. Before mixing in soil amendments, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth. Apply Herbicide for weed control as needed.
- C. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow placing of planting soil within a few days.

- D. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.

- 1. Mix lime with dry soil prior to mixing of fertilizer.
- 2. Prevent lime from contacting roots of acid-loving plants.

- E. Unless drawings indicate otherwise, berms shall not exceed a 3:1 slope. Berms near buildings or in potentially troublesome drainage situations shall be checked for correct drainage by the project Engineer or Owner prior to planting.
- F. Tree and shrub planting beds which fall within or near parking lot areas shall be completely excavated and back-filled with topsoil. All shell-rock or other base materials, and all subsoil and debris, shall be completely removed from beneath such planting areas, to a minimum depth of 24".
- G. All tree and/or shrub planting areas within 36" of building foundations, and any other planting areas where significant buried construction debris is encountered, shall be excavated to a minimum depth of 24" and backfilled with topsoil as specified elsewhere in these specifications.

3.03 TILLING

- A. Before mixing, clean soil of roots, plants, clay lumps, stones in excess of 1" in diameter, and other extraneous or potentially harmful materials.
- B. After soil conditioning (and topsoil if called for on plans) has been spread at specified rates, the areas to be planted should be thoroughly rotary-tilled to a depth of six (6) inches. Plowing or discing is not an acceptable substitute for rotary-tilling.

- 1. If the sprinkler system is installed after grading and tilling is completed, the backfill shall be settled in the affected areas.
- 2. When the subsoil, grading, topsoil addition, soil conditioning, and tilling have been accomplished, all areas so treated shall be compacted and settled by application of heavy irrigation to a minimum depth of twelve (12) inches. Erosion scars shall be repaired.

3.04 FINE FINISH GRADING

- A. When preliminary grading has been completed and the soil has dried sufficiently to be readily worked, all lawn and planting areas shall be graded to the elevations indicated on the Engineering Plans. The top four (4) inches shall be completely free of stones larger than one (1) inch. Grades and slopes indicated shall be uniform levels or slopes between points where elevations are given. Positive drainage away from buildings shall always be maintained. Surface drainage shall be directed as indicated on the drawings by remodeling surfaces to facilitate the natural run-off of water. All depressions where water will stand, all voids, erosion, settled trenches and excavations, and all ridges and rises shall be amended and/or removed leaving a smooth, even finish grade. If additional amended topsoil is required to accomplish the intent of this specification, it shall be according to the foregoing specifications for topsoil.

- 1. All area shall be graded so that the final grades are 2" below adjacent paved areas, sidewalks, valve boxes, mowing strips, clean-outs, drains, etc., with appropriate adjustments for varying soil thicknesses. The intent is for water always to drain away from paving into lawn/sod areas.
- 2. Eliminating all erosion scars prior to beginning planting.
- 3. The Owner and/or his representative shall approve all final finish grades prior to planting.

- B. Prior to fine grading or the installation of plant material the Contractor shall obtain certification that the project area is at the grade levels proposed by the Civil Engineer or Landscape Architect from a licensed Surveyor. The Contractor shall fine grade the lawn and planting areas to bring the rough grade up to final finished grade allowing for thickness of sod and/or mulch depth.

3.05 PLANTING TREES AND PALMS

- A. Layout individual tree locations and areas for multiple plantings. Stake all locations and outline areas, then secure Landscape Architect's acceptance before the start of planting work.
- B. Prior to preparation of tree pits, ascertain the location of all electrical cables, all conduits, all utility lines, oil tanks and supply lines, so that proper precautions may be taken not to disturb or damage any existing conditions and properly maintain and protect existing utilities. Should such underground or overhead obstructions be encountered that interfere with planting, the Contractor will inform the Landscape Architect or Owner's representative and shall be consulted as to the adjustment of the location of plants to clear such obstruction or the relocation of the obstruction.
- C. Tree pit locations shall be staked by the Contractor and approved by the Owner or Landscape Architect before digging. Pits shall be excavated to the depth and width indicated and all sod removed.
- D. Protect all areas from excessive compaction by foot traffic or machinery when bringing trees to the planting area.
- E. All excavations shall have vertical sides with roughened surfaces and shall be of a size that is at least twice the width of the original plant container or ball. In all cases the holes shall be large enough to permit handling and planting without damage to the roots or roots and soil.
- F. Excess soil shall be removed or utilized as directed by Owner or the Owner's representative. If the excess soil will not be used, it is the responsibility of the Contractor to remove and dispose of the discarded soil off site in an acceptable manner.
- G. Tree pits shall be backfilled with a topsoil mixture as specified elsewhere in these specifications. Palm tree pits will be backfilled with a mixture of up to 95% sand and 5% organic material.
- H. Add fertilizer to tree pits as specified elsewhere in these specifications.
- I. Set balled and burlapped stock on a layer of 50% native soil and 50% topsoil compacted to a 6" depth. Loosen burials from top of sides of the ball but no burials shall be pulled from underneath. Remove non-organic binding material (if any) from tree ball. Immediately cut any damaged roots with clean shears. Using a plumb to assure that the tree is properly upright, begin filling the hole and tamping the fill material. When the hole is 2/3 filled, water thoroughly and re-compact with foot traffic.
- J. Set container-grown stock as above, taking care not to damage roots when removing the container.
- K. During planting, do not cover the top of the root ball with the soil mixture. All rope, wires, burlap mesh, etc., shall be removed from the root ball. No synthetic burlap is allowed on any plant material during planting. It shall be a soil mat of sufficient thickness, at least 2" thick, adhering firmly to the roots to withstand all necessary handling. It shall be free of weeds and other grasses. It shall be planted as soon as possible after being dug, and shall be shaded and kept moist from the time it is dug until it is planted. After approval, the area from which the sod is to be harvested shall be closely mowed and raked as necessary to remove excessive top growth and debris.
- L. Create a watering basin around each tree at least as wide as the root ball in diameter formed by a circular ridge or raised curb 6" high.
- M. Each planting basin shall be mulched to a minimum depth of 3" (after setting). Mulch shall not be applied until the tree has been thoroughly watered and two days have elapsed. Mulch should be placed so that it is not in direct contact with trunks.
- N. All trees are to be staked or guyed per these specifications. All stakes shall be painted a conspicuous color or shall be flagged for visibility and public safety; guy wires shall be flagged.
- O. Palms shall be planted per above specifications.

3.06 PLANTING SHRUBS, VINES, AND GROUND COVERS

- A. The location of all plants, bed outlines and all other areas to be planted shall be clearly marked with agricultural gypsum or landscape marking paint then approved by the Owner or Landscape Architect before any holes are dug.
- B. No planting shall be done until the area concerned has been satisfactorily prepared in accordance with these specifications.
- C. No more plants shall be distributed in the planting area on any work day than can be planted and watered in that day.
- D. Unless otherwise indicated, all plants shall be planted in pits, centered as called for on the plant list, and set in 24" depth of topsoil as specified elsewhere in these specifications to such depth that the soil line of the plants will match the surrounding grade after setting. Plants shall be planted in a vertical position and oriented to give the best possible appearance or relationship to adjacent structures or features. Remove all inorganic containers or binding. All damaged roots shall be cut away cleanly. Planting soil shall be placed and compacted carefully to fill all voids and avoid root injury. When the hole is 2/3 filled, water thoroughly. The hole shall then be filled to finish grade and a shallow saucer shall be formed around each bed. After setting, soil shall be added as needed to bring the hole to grade level.
- E. Grasses and other ericaceous plants shall be backfilled with a mixture of 20% topsoil and 80% acid peat. They shall be set so that the bases of the plants are slightly higher than they grew in the container or nursery after setting. At no time shall lime in any form be brought into contact with the plants or their roots. Mulch with pine straw unless noted otherwise.
- F. Add fertilizer to plants as outlined in section 2.02.
- G. Vines shall be planted in pits containing at least 2 cubic feet of prepared topsoil. They shall be planted in the same manner as shrubs, and shall be mulched. Vine stems shall be fastened to walls, trellises, etc. as specified in the drawings.
- H. Groundcover plants shall be laid out in their proposed planting locations without being removed from their containers after the soil is properly prepared per these specifications. Planting methodology is the same as for other shrubs.
- I. Any plants which, after setting, rest significantly higher or even slightly lower than they grew in the nursery or container are subject to resetting or replacement at the discretion of the OWNER or Landscape Architect. Such work shall be at the Contractor's expense.
- J. If called for in the plans, landscape edging shall be installed as specified.
- K. All planting beds and individual plantings shall be mulched with a minimum of 3" (after setting) of mulch as specified in this document. Mulch shall be free of weed seeds and other foreign matter.

3.07 ANNUAL AND SEASONAL COLOR BEDS

- A. Beds shall be mounded to a height 6" on top of the existing grade and composed of 50% topsoil and 50% compost.
- B. Soil shall be covered with 1/2" - 1" deep layer of Pine Fines Mulch or comparable product.

3.08 PRUNING

- A. All pruning shall be done in the presence of, and with the approval of, the Owner or

Landscape Architect. Only clean, sharp tools designed for the purpose shall be used. The goal of pruning is always to preserve and enhance the natural character of the plant. Pruning shall be done per modern horticultural practice (see National Arborist Standards, latest edition).

- B. Pruning shall be limited to the minimum necessary to remove injured twigs, branches, and stems to compensate for root loss suffered during digging and transplanting, and to thin and shape shrubs and trees. In no case shall more than 1/3 of the branching structure be removed. Damaged, scarred, frayed, split, or skinned twigs, branches, or limbs shall be pruned back to the next sound outside lateral bud, branch or limb. The terminal bud or leader shall never be removed.
- C. Pruned trees and shrubs to retain required height and spread. Remove the minimal amount of wood necessary on flowering trees and shrubs. Remove only dead or dying fronds from palms. Cuts over 3/4" in diameter shall be treated with tree wound paint; all exposed living tissue shall be covered.
- D. Existing Trees: If indicated on drawings, Contractor shall prune and thin existing trees on site. The use of climbing spurs is prohibited. All diseased, dead branches and those interfering with healthy plant growth shall be removed. Also, remove root suckers, low branches, and others as directed by the Owner or Landscape Architect. Cuts shall be flush with the trunk and limbs and shall be painted with tree paint. Remove any nails, wires, etc. fastened to the tree.

3.09 PLANTERS - DECORATIVE OR STRUCTURAL

- A. If specified, landscaping in planters shall be installed using the following method:
 - 1. Install 4" deep layer of fine crushed stone in bottom of planter.
 - 2. Install filter fabric over stone layer. Turn up edges of fabric all around.
 - 3. Install planting soil mix over filter fabric to within 3/32" of top for planter. Do not compact.
 - 4. Install plant material as specified elsewhere in these specifications.
 - 5. Install 3" of mulch over planting soil.

3.10 SODDING NEW LAWNS

- A. The Contractor shall be held accountable and notified on the drawings. No sodding shall occur until areas to be sodded are cleared of any rough grass, weeds and debris, the ground brought to an even grade and specified amendments have been added. See details for specific amendments as per sod type.
- B. Whenever a suitable area has been graded and is ready for sodding the Contractor shall, when directed by the Landscape Architect, proceed at once with the sodding of the available areas. Sodding shall be incorporated into the project at the earliest practical time in the life of the contract. No sod which has been cut for more than seventy two (72) hours shall be used unless specifically authorized by the Landscape Architect or Owner after his careful inspection thereof. Any sod which is not planted within twenty four (24) hours after cutting shall be stacked in approved areas and maintained properly moistened.
- C. The sod shall be placed on the prepared surface, with edges in close contact, and shall be firmly and smoothly embedded by light tamping with appropriate tools. Sod shall be rolled with 1,000 lbs. roller unless waived by the Landscape Architect or Owner.
- D. Where sodding is used in drainage ditches, sod panels shall be set in a staggered pattern, such as to avoid a continuous seam along the line of flow. Offsets of individual strips shall not exceed 18 inches.
- E. On areas where the sod may slide, due to height and slope, the Landscape Architect or Owner may direct that the sod be pegged, with pegs driven through the sod blocks into firm earth, at suitable intervals.
- F. Any pieces of sod which, after placing, show an appearance of extreme dryness shall be removed from the work.
- G. Where placement of new sod abuts existing sodded areas, new sod must be placed in such a manner as to produce an even transition to existing sodded areas.
- H. It shall be the responsibility of the Contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas.

PART IV MAINTENANCE, ESTABLISHMENT AND WARRANTY PERIODS

4.01 MAINTENANCE AND ESTABLISHMENT PERIOD

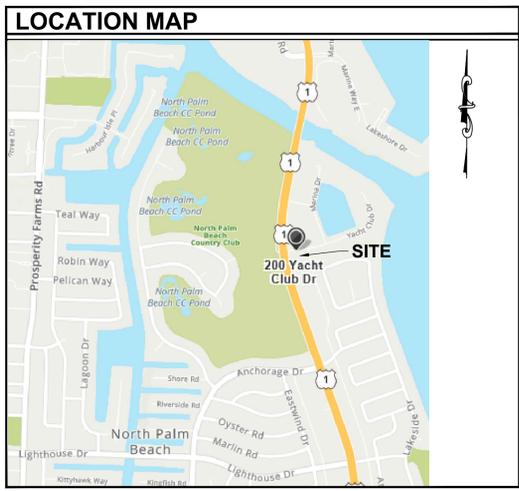
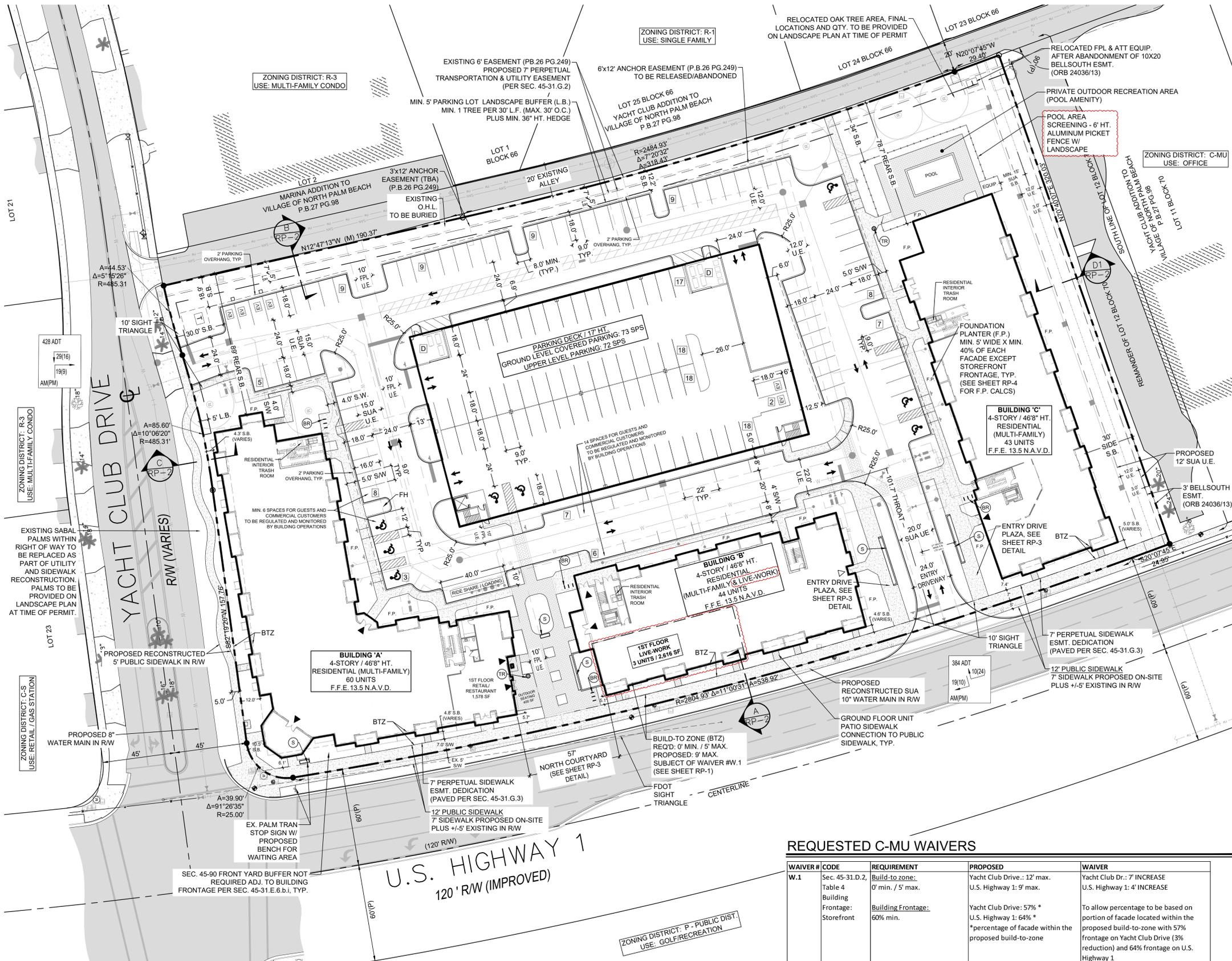
- A. The Maintenance Period shall begin immediately after each plant is planted, and the Contractor shall continuously maintain all areas involved in this contract during the progress of the project.
- B. The Establishment Period shall begin on the first day after all planting and installation of all landscape elements is completed and initially accepted. The Contractor shall continuously maintain all areas from initial acceptance until final acceptance by the Owner. The Establishment Period shall continue for not less than ninety (90) continuous calendar days. Heretofore established Maintenance and Establishment Periods of not less than ninety (90) days and eighty (80) continuous calendar days. The Establishment Period will end at the time the project is given final acceptance. An inspection shall be made by the Owner or Landscape Architect to accept the completed work and issue a determination of substantial completion. Inspections may be performed on all or partially completed phased work under the Contract, as directed by the Owner.
- C. Maintenance of new plantings shall consist of, but not necessarily be limited to, pruning, watering, cultivating, weeding, mulching, tightening or replacing guys and stakes, resetting plants to proper grades or upright positions, furnishing and applying sprays as necessary to combat insects and disease, light control, rolling, fertilizing and replanting.
- D. Planting areas and plants shall be protected at all times against damage of any kind for the duration of the maintenance and establishment periods. If any plants are injured or damaged, they shall be treated or replaced as directed by the Owner or Landscape Architect at no additional cost. The Contractor is responsible for acts of vandalism or theft during the maintenance and establishment period unless this responsibility is assumed in writing by another party.
- E. The Contractor shall be responsible for maintaining adequate protection of the site. Areas damaged by the Landscape Architect's men or equipment, or the men or equipment of his subcontractors, shall be repaired at the Landscape Architect's expense.
- F. The Contractor is responsible for keeping all plant materials adequately watered after installation even if the irrigation system is not operational. Plants shall receive a thorough watering immediately after planting. Afterwards, plants shall be watered during the maintenance and establishment periods per the requirements set forth in "Water Requirements" of the Maintenance and Establishment Periods. Fertilizer shall be applied at a rate to keep plant materials healthy. All fertilizer shall be done under the direction of a licensed fertilizer operator.
- G. The Contractor shall be responsible for keeping all plant materials adequately watered after installation even if the irrigation system is not operational. Plants shall receive a thorough watering immediately after planting. Afterwards, plants shall be watered during the maintenance and establishment periods per the requirements set forth in "Water Requirements" of the Maintenance and Establishment Periods. Fertilizer shall be applied at a rate to keep plant materials healthy. All fertilizer shall be done under the direction of a licensed fertilizer operator.
- H. The Landscape Contractor shall control disease and pest infestations in the planting area. Upon approval, the Contractor shall implement the control measures, exercising extreme caution in using hazardous materials and taking all necessary steps to protect others on and near the job site. All disease and pest control shall be done under the direction of a licensed disease and pest control operator.
- I. Herbicide Weed Control: All landscape areas shall be free of nut grass, torpedo grass, and other noxious weeds until final acceptance of work.
 - 1. "Round-up" shall be applied to all planting areas as needed and determined on-site by the Owner for weed control. Apply per manufacturers specifications.
 - 2. "Ronstar" pre-emergent or OWNER - approved equal, shall be applied 2 weeks before planting. Apply per manufacturers specifications.
 - 3. Apply "Fusilade" in all areas where torpedo grass has emerged. Apply per manufacturers specifications.
 - 4. Apply "Basagran" or "Marage" in all areas where nutgrass has emerged. Apply per manufacturers specifications.
- K. Mowing of turf will commence ten (10) days after installation. The height of cut will be 3". After the first mowing, the Contractor shall adjust the frequency of mowing so that each operation no more than 1/3 of the grass blade is removed per cutting.
- L. If the lawn surface becomes uneven or develops any low spots or gaps in the sod at any time during the maintenance or establishment periods, contractor to provide clean sands to fill all low spots and gaps to level the lawn surface. Roll the lawn immediately afterwards with a 1,000 lb. roller. After leveling the lawn, re-level the lawn again, using the same procedure until a uniform level lawn surface is provided. Between the 15th and 20th day of the Establishment Period, the Contractor shall re-sod all spots or areas within the lawn where normal turf growth is not evident. Turf must be well established and free of bare spots and weeds to the satisfaction of the OWNER or Landscape Architect prior to final acceptance. All plants already on site shall be inspected at intervals of not more than ten (10) days and application of fertilizer to be done between the fourth (4) and fifth (5) day of the establishment period. Landscape Architect or Owner are to be notified a minimum of forty eight (48) hours in advance.
- M. Inproper maintenance or poor condition of any planting at the time of the termination of the scheduled Establishment Period may cause postponement of the final acceptance of the contract. Any material found to be dead, missing, or in poor condition during the establishment period shall be replaced immediately. Maintenance shall be continued by the Contractor until the work is acceptable.
- O. Inspection and Final Acceptance:

- 1. In all cases the Landscape Architect will perform an initial and final inspection at the beginning and end of the Establishment Period, respectively. It is the responsibility of the Contractor to notify the Owner or Landscape Architect of the beginning and end of this period and to submit a written request for an inspection ten (10) days in advance.
- 2. Following inspection(s), Landscape Architect will prepare a listing of outstanding items to be addressed prior to final acceptance. Final acceptance will be given once the outstanding items are completed, and the work performed to the satisfaction of the Landscape Architect and OWNER.
- 3. Any material that is 25% or more dying shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main leader has died or when 25% of the crown is dead. A tree that has suffered significant leaf drop but shows signs

of life may be left for later re-inspection. Such trees shall be subject to removal and replacement at any time up to and including the first re-inspection, as requested by the Owner or Landscape Architect. The Warranty Period for such trees shall not begin until after the second re-inspection.

4.02 WARRANTY PERIOD

- A. Unless a different agreement is reached in writing between the Owner and the Contractor, all trees and other plant material, including ground covers, installed under this agreement shall be guaranteed to live and grow, and shall be warranted against defects, death and unsatisfactory growth for a period of



SITE DATA:

LAND USE DESIGNATION:	COMMERCIAL
ZONING DISTRICT:	C-MU / US-1 MIXED USE DISTRICT
PROPERTY CONTROL NUMBER(S):	68-43-42-09-02-000-0010 68-43-42-09-01-070-0140 68-43-42-09-01-070-0121
EXISTING USE:	VACANT COMMERCIAL
PROPOSED USES:	RESIDENTIAL DWELLING - MULTI-FAMILY RENTAL (PERMITTED) BUSINESS STORES & SERVICES, GENERAL (PERMITTED) RESTAURANT (PERMITTED)
GROSS SITE AREA:	4.09 AC. / 178,413 SF
MAX. DENSITY PERMITTED:	24 DU/AC BY RIGHT, UP TO 36 DU/AC WITH WORKFORCE HOUSING DENSITY BONUS
DENSITY PROPOSED:	36 DU/AC / 147 UNITS WITH WORKFORCE HOUSING DENSITY BONUS
1-BEDROOM =	78 UNITS
2-BEDROOM =	69 UNITS
TOTAL =	147 UNITS
BUILDING HEIGHT (SEC. 45-31):	4 STORIES / 46'8" HT.
Note:	The maximum height of a building in feet is controlled by the maximum ceiling heights for individual stories, as provided in subsection 45-31.E.5.
PUBLIC USE AREA (SEC. 36-23):	MIN. 0.20 AC. / 5% SEE SHEET RP-3 PUA DIAGRAM FOR LOCATION

Concurrency Summary

MULTI-FAMILY RESIDENTIAL	147 UNITS
RESTAURANT	1,978 SF*
* INCLUDES OUTDOOR DINING AREA	

PARKING DATA:

PARKING REQUIRED	203 SPACES
MULTI-FAMILY RESIDENTIAL: 1.25 / UNIT @ 144 UNITS = 180 SPACES	
LIVE-WORK: 1.0 / 1,000 SF @ 2,616 SF / 3 LIVE WORK UNITS = 3 SPACES	
RESTAURANT: 10 PER 1,000 SF @ 1,978 SF (1,578 SF plus 400 SF patio) = 20 SPACES	
PARKING PROVIDED	234 SPACES*
SURFACE PARKING:	162 SPS. (COVERED & UNCOVERED)
UPPER LEVEL PARKING DECK:	72 SPS
ACCESSIBLE PARKING:	8 SPS. (12' x 18') (INCLUDED IN PARKING PROVIDED COUNT ABOVE, FOR 201-300 SPACES PROVIDED)

* NOTE: A MINIMUM OF SIX (6) OF THE PROVIDED PARKING SPACES SHALL BE FOR ELECTRIC VEHICLE (EV) CHARGING STATIONS. 4 EV SPACES ARE PROVIDED IN THE UNCOVERED PARKING AREA AND 2 EV SPACES ARE PROVIDED IN THE COVERED PARKING AREA.

- Notes**
- Base information based on survey prepared by Brown & Phillips, Inc. with title commitment dated October 2020.
 - Prior to construction, all utility locations to be verified to ensure that landscape material does not conflict with utilities.
 - All stop bars shall be setback 4' in advance of pedestrian crosswalks.
 - All accessible paved routes shall not exceed a 20:1 slope.
 - Locations of all proposed traffic signage shall be established by the engineer of record.
 - Curbing details to be shown on engineering construction plans.
 - Surrounding property information shown for informational purposes only.
 - Handicap parking signs shall be placed behind the sidewalk in areas where sidewalk abuts the stall.

REQUESTED C-MU WAIVERS

WAIVER #	CODE	REQUIREMENT	PROPOSED	WAIVER
W.1	Sec. 45-31.D.2, Table 4 Building Frontage: Storefront	Build-to-zone: 0' min. / 5' max.	Yacht Club Drive: 12' max. U.S. Highway 1: 9' max.	Yacht Club Dr.: 7' INCREASE U.S. Highway 1: 4' INCREASE
		Building Frontage: 60% min.	Yacht Club Drive: 57% * U.S. Highway 1: 64% * *percentage of facade within the proposed build-to-zone	To allow percentage to be based on portion of facade located within the proposed build-to-zone with 57% frontage on Yacht Club Drive (3% reduction) and 64% frontage on U.S. Highway 1
		Door Recess: 5' Max.	Yacht Club Drive: 6.5' US Highway 1: 6.5'	Yacht Club Drive: 1.5' INCREASE U.S. Highway 1: 1.5' INCREASE
		Cumulative Storefront Width: 70% of building frontage min.	Yacht Club Drive: 53%	Yacht Club Drive: 17% REDUCTION
		Transparency: Ground: 70% min. Upper: 40% min.	Bldg. A North: 37% / 35% Bldg. A West: 68% / 37% Bldg. B West: 34% / 37% Bldg. C West: 32% / 34%	33% / 5% REDUCTION 2% / 3% REDUCTION 36% / 3% REDUCTION 38% / 6% REDUCTION
W.2	6.115.C.2 Building Wall Signs	C. Maximum sign area of five (5) percent of the facade area if the front building setback is twenty-five (25) feet minimum.	Sign Type 2 - Tenant Sign: Maximum sign area of five (5) percent of the facade area with a front building setback of 0' due to code-required build-to-zones.	Removal of 25' Setback requirement.

LEGEND:

AC = ACRE(S)	BTZ = BUILD TO ZONE SEE SHEET RP-1 BUILDING FRONTAGE DIAGRAM	EX. = EXISTING	FH = FIRE HYDRANT (REFER TO CIVIL PLAN)	PKG. = PARKING	R/W = RIGHT OF WAY	S/W = SETBACK	T = POSSIBLE ELEC. TRANSFORMER LOCATION TO BE ABANDONED OR RELEASED	T.B.A. = UTILITY EASEMENT	U.E. = PROPOSED ELECTRIC VEHICLE CHARGING SPACE
D = ENCLOSED REFUSE STORAGE ROOM FOR TRASH/RECYCLING DUMPSTERS (SEE DETAIL SHEET RP-2)	TRASH RECEPTACLE	TRASH RECEPTACLE	CONCRETE POWER OR LIGHT POLE	INDICATES PRIMARY PEDESTRIAN ENTRANCE	PRELIMINARY BENCH / PUBLIC SEATING LOCATION.	BIKE RACK, BIKE PARKING AREA SEE DETAIL SHEET RP-2	PROPOSED STOP SIGN/BAR	PROPOSED RELOCATED TREE LOCATION (6 EXISTING OAKS). DISPOSITION TO BE FINALIZED AT TIME OF LANDSCAPE PLAN PERMIT REVIEW.	

DEVELOPMENT TEAM:

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561.684.6844

LANDSCAPE ARCHITECT/PLANNER: Urban Design Studio
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561.366.1100

CIVIL & TRAFFIC ENGINEER: Simmons & White, Inc.
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West Palm Beach, FL 33407
561.478.7848

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200 YACHT CLUB DRIVE
MIXED-USE RESIDENTIAL
North Palm Beach, Florida
PRELIMINARY SITE PLAN

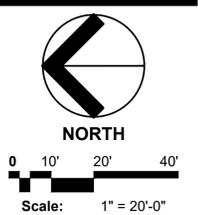
PSP-1
of 1

Scale: 1" = 30'-0"

Date: OCTOBER 2020
Project No.: 20-013.000
Designed By: MLC
Drawn By: MLC
Checked By: KT

Revision Dates:
2023.05.03: REVISED SPR SUBMITTAL
2023.08.30: SPR Resubmittal #1
2023.08.18: SPR Resubmittal #2
2023.10.23: Planning Comm. Comment Resub.

200 YACHT CLUB DRIVE
MIXED-USE RESIDENTIAL
North Palm Beach, Florida
BUILDING FRONTAGE COMPLIANCE DIAGRAM



Date: October, 2020
Project No.: 20-013.000
Designed By:
Drawn By: MLC
Checked By:

Revision Dates:
2023.05.03: Revised SPR Submittal
2023.08.30: SPR Resubmittal #1
2023.08.18: SPR Resubmittal #2



YACHT CLUB DRIVE (314.5' LOT WIDTH)
TOTAL BUILDING FRONTAGE: REQ'D 60% OF LOT WIDTH (MIN. 189') | PROPOSED 57% (179')
TOTAL CUMULATIVE STOREFRONT WIDTH: REQ'D 70% (OF BLDG. FRONTAGE MIN.) | PROPOSED: 53% (100') *

NORTH FACADE = 186'
BLDG. FRONTAGE (PORTION W/ 12' B.T.Z.) = 179'
CUMULATIVE STOREFRONT WIDTH: 100'

BUILD-TO-ZONE
REQUIRED: 0' MIN. / 5' MAX.
PROPOSED: VARIES 7' TO 12' MAX. *

BUILD-TO-ZONE
REQUIRED: 0' MIN. / 5' MAX.
PROPOSED: 9' MAX. *

BUILD-TO-ZONE
REQUIRED: 0' MIN. / 5' MAX.
PROPOSED: 9' MAX. *

BUILD-TO-ZONE
REQUIRED: 0' MIN. / 5' MAX.
PROPOSED: 9' MAX. *

+ INDICATES STOREFRONT
(MIN. 4' DEPTH COVER 100% OF BLDG. 'A' U.S.
FRONTAGE FACADE)

WEST FACADE = 156'
BLDG. FRONTAGE (PORTION W/ 9' B.T.Z.) = 131'
CUMULATIVE STOREFRONT WIDTH = 131'

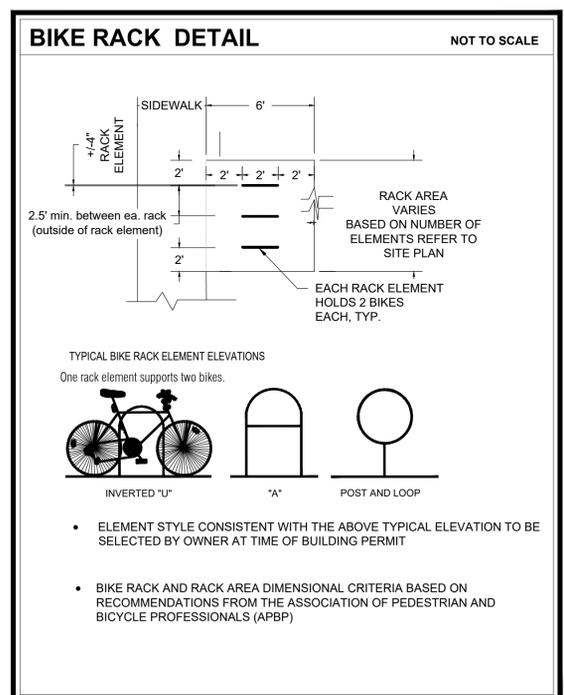
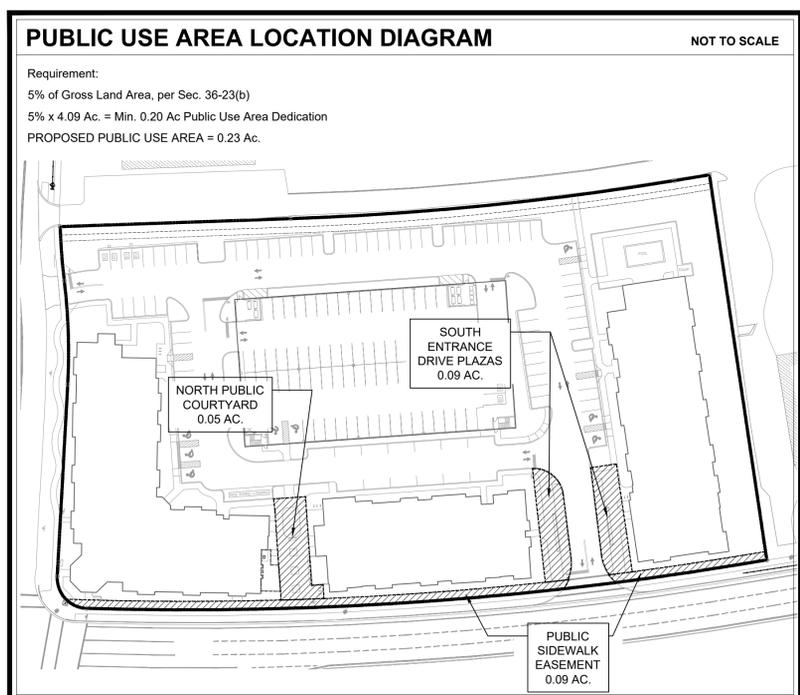
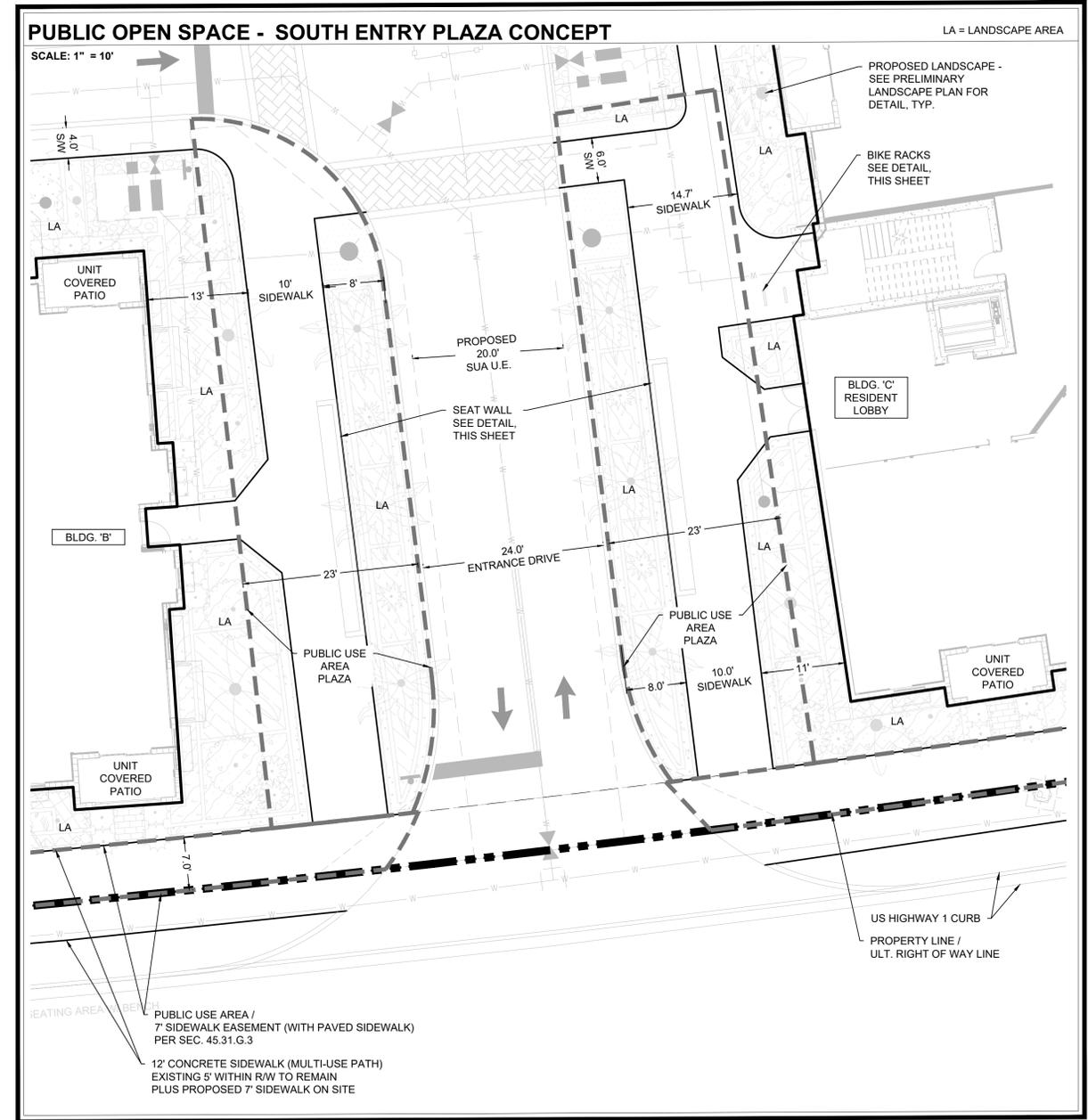
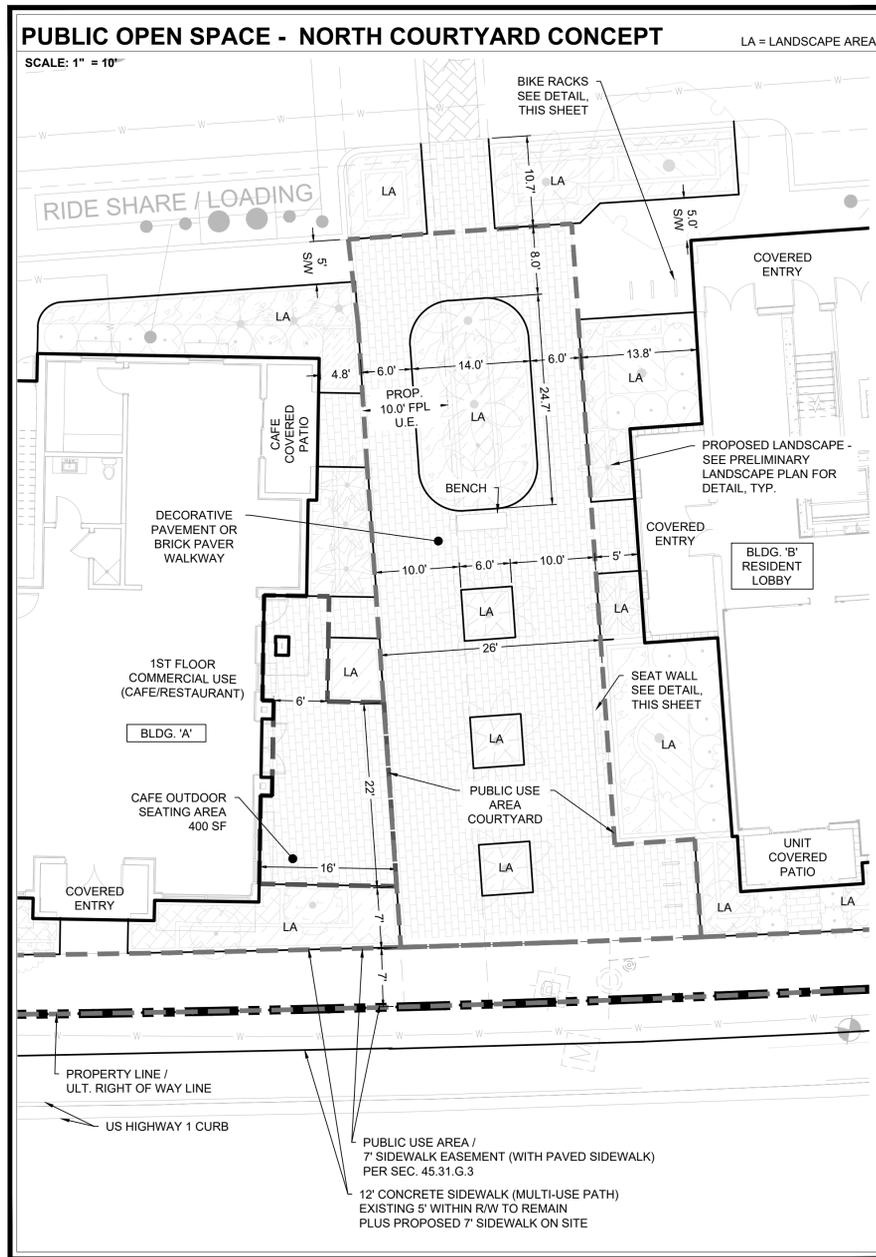
WEST FACADE / BUILDING FRONTAGE = 167'
CUMULATIVE STOREFRONT WIDTH = 84'

WEST FACADE / BUILDING FRONTAGE = 75'
CUMULATIVE STOREFRONT WIDTH = 31'

U.S. HIGHWAY 1 (585.8' LOT WIDTH)
TOTAL BUILDING FRONTAGE: REQ'D 60% OF LOT WIDTH (MIN. 352') | PROPOSED 64% (373')
TOTAL CUMULATIVE STOREFRONT WIDTH: REQ'D MIN. 70% OF BLDG. FRONTAGE | PROPOSED 70% (246')

LEGEND
+---+ INDICATES OVERHEAD COVER, MIN. 4' DEPTH
(COUNTS TOWARDS CUMULATIVE STOREFRONT WIDTH)
* INDICATES SUBJECT OF BUILDING FRONTAGE WAIVER,
SEE SP-1 WAIVER TABLE

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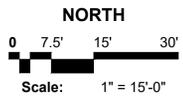
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200 YACHT CLUB DRIVE
MIXED-USE RESIDENTIAL

North Palm Beach, Florida
REGULATING PLAN - COURTYARD DETAILS

Date: October, 2020
Project No.: 20-013.000
Designed By: MLC
Drawn By: MLC
Checked By:

Revision Dates:
2023.05.03: REVISED SPR SUBMITTAL
2023.06.30: SPR Resubmittal #1



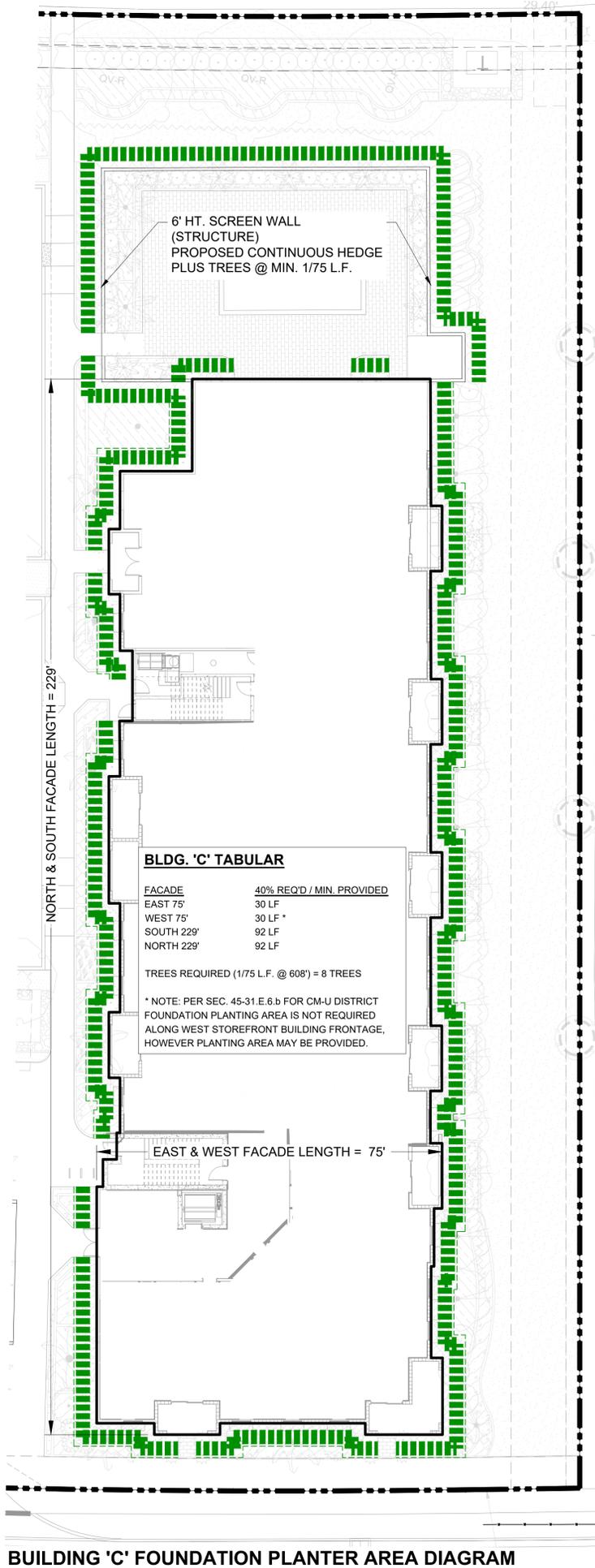
Date: October, 2020
Project No.: 20-013.000
Designed By: MLC
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Checked By:

Revision Dates:
2023.05.03: REVISED SPR SUBMITTAL
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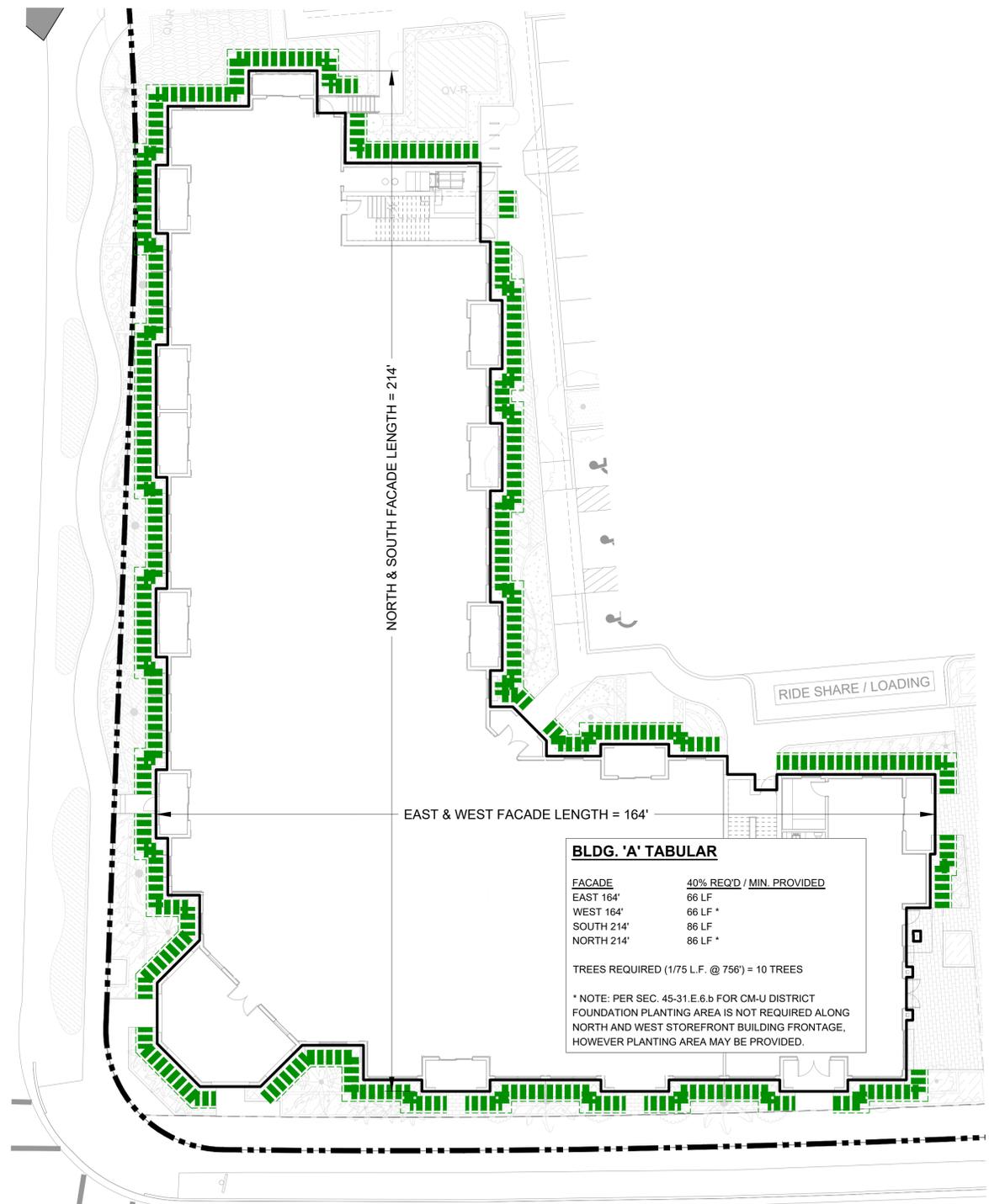
LANDSCAPE REQUIREMENTS FOR BASE OF FOUNDATION (PER SEC. 45-91)

- LANDSCAPING REQUIRED WITHIN 5' OF ALL BUILDINGS AND STRUCTURES
- COMBINED LENGTH OF PLANTING: MIN. 40% OF EACH SIDE OF THE STRUCTURE.
- MIN. 1 TREE PER EA. 75 L.F. OF BUILDING PERIMETER, USING A SPECIES SUITABLE FOR THIS LOCATION.
- PER SEC. 45-31.E.6.b FOR CM-U DISTRICT FOUNDATION PLANTING AREA IS NOT REQUIRED FOR BUILDINGS WITH STOREFRONT BUILDING FRONTAGE ALONG US1 AND YACHT CLUB DRIVE, HOWEVER PLANTING AREA MAY BE PROVIDED.

INDICATES LANDSCAPE AREA PROVIDED WITHIN 5' OF THE BUILDING OR STRUCTURE. SEE PRELIMINARY LANDSCAPE PLAN FOR DETAILED PLANTING LAYOUT.



BUILDING 'C' FOUNDATION PLANTER AREA DIAGRAM



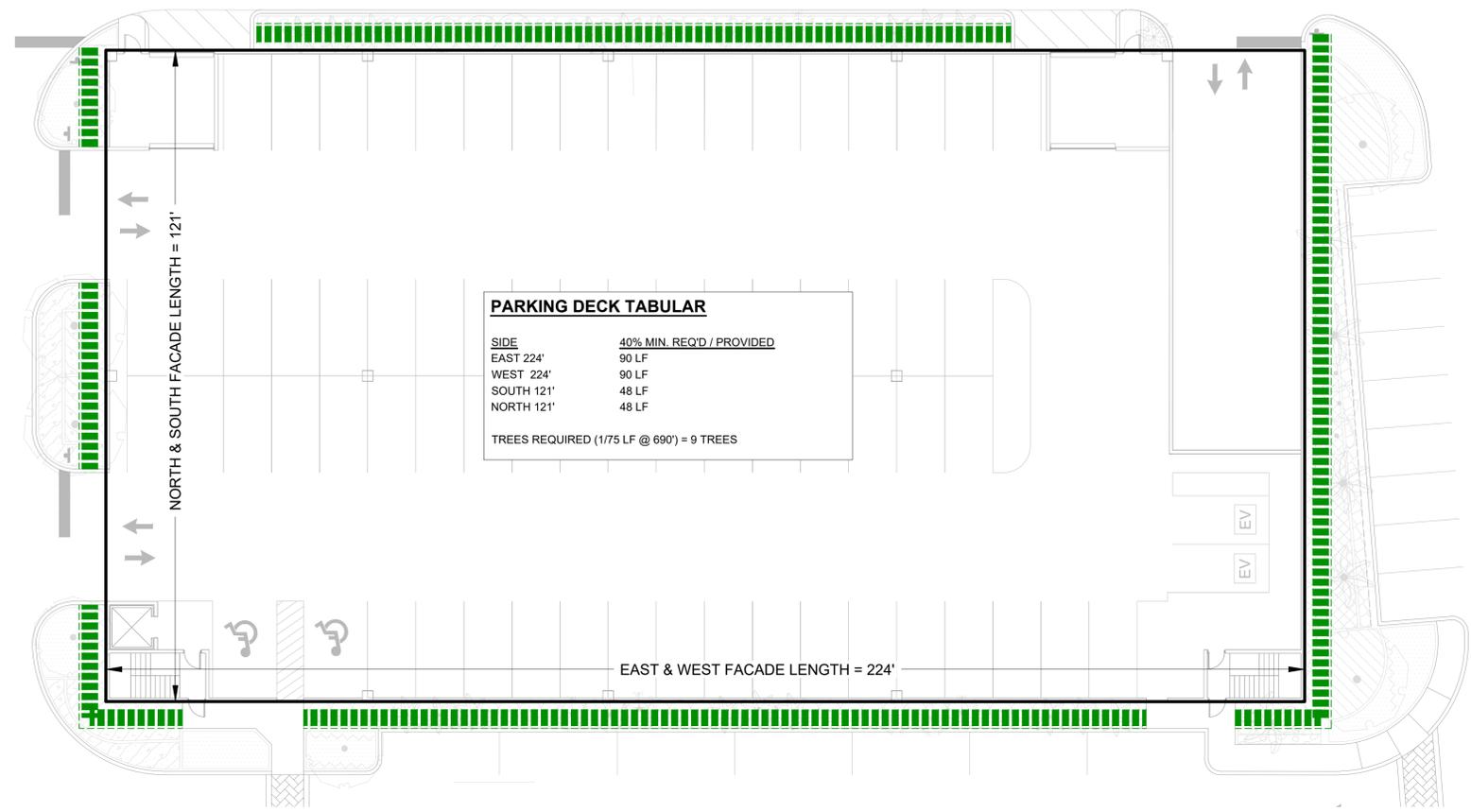
BUILDING 'A' FOUNDATION PLANTER AREA DIAGRAM

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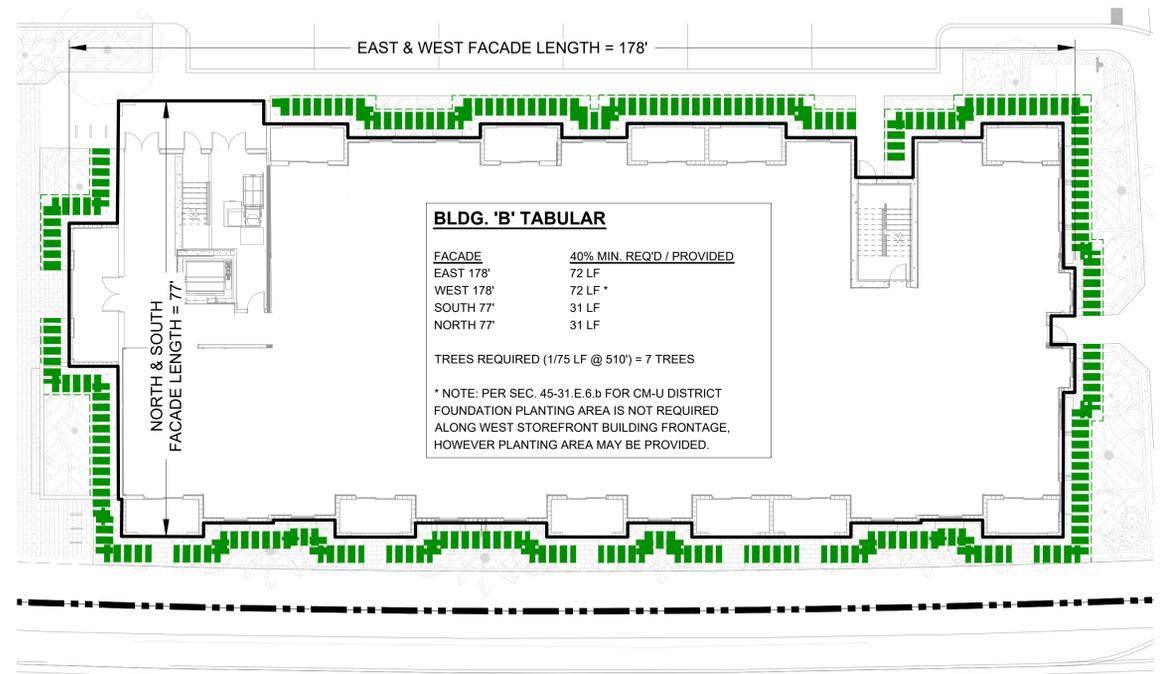
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PARKING DECK STRUCTURE FOUNDATION PLANTER AREA DIAGRAM



BUILDING 'B' FOUNDATION PLANTER AREA DIAGRAM

200 YACHT CLUB DRIVE
MIXED-USE RESIDENTIAL
North Palm Beach, Florida
FOUNDATION PLANTER AREA DIAGRAM

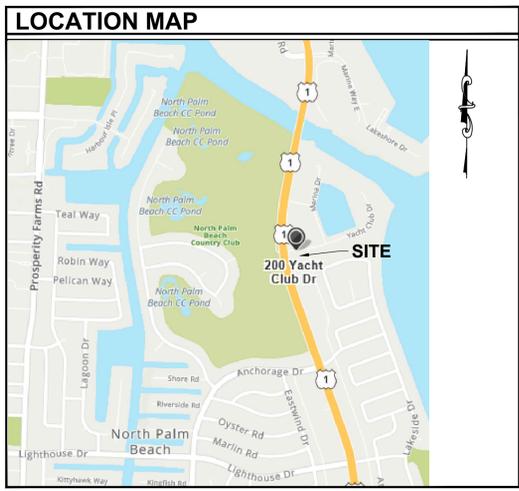
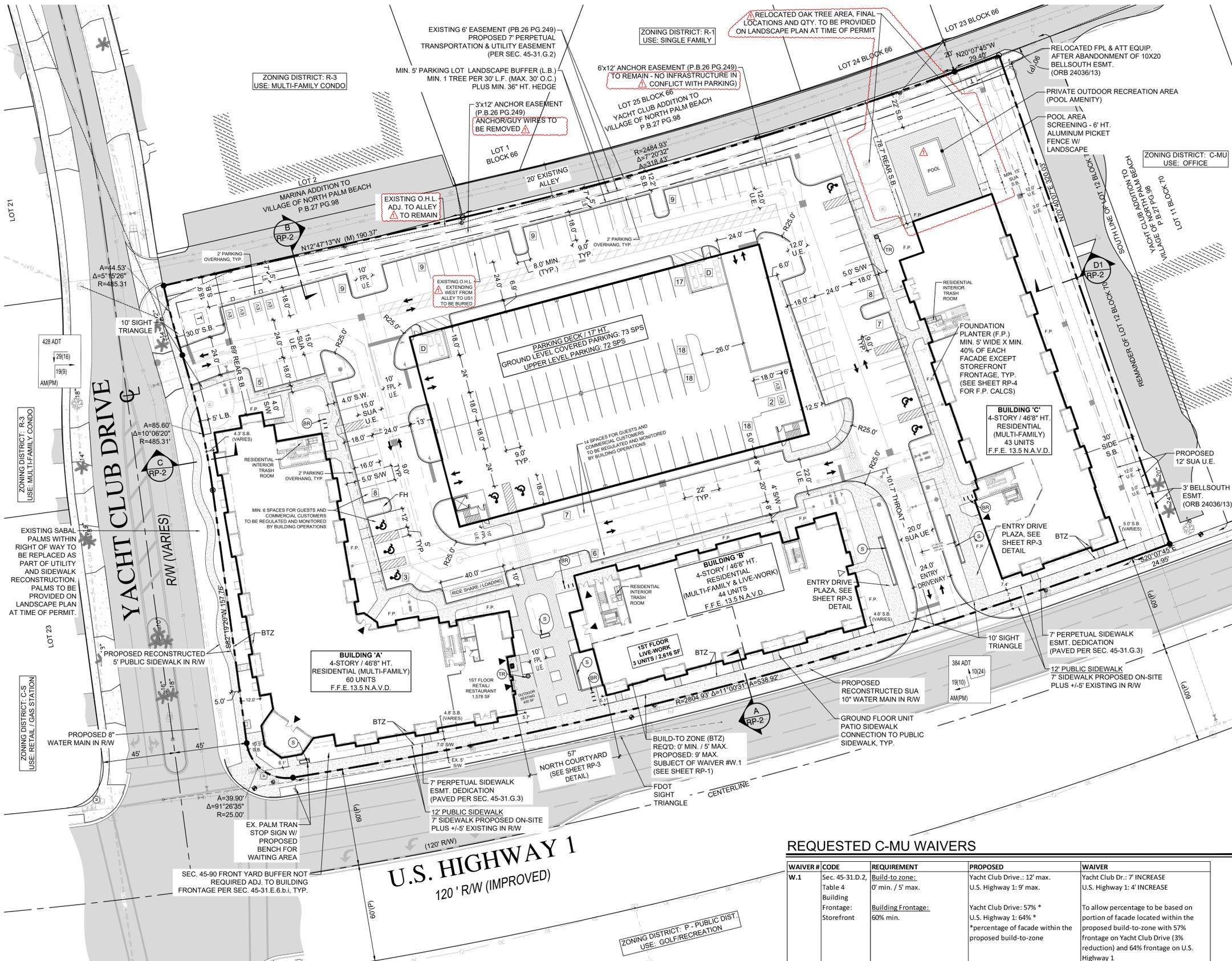


0 7.5' 15' 30'
Scale: 1" = 15'-0"

Date: October, 2020
Project No.: 20-013.000
Designed By: MLC
Drawn By: MLC
Checked By:

Revision Dates:
2023.05.03: REVISED SPR SUBMITTAL
2023.08.30: SPR Resubmittal #1

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SITE DATA:

LAND USE DESIGNATION:	COMMERCIAL
ZONING DISTRICT:	C-MU / US-1 MIXED USE DISTRICT
PROPERTY CONTROL NUMBER(S):	68-43-42-09-02-000-0010 68-43-42-09-01-070-0140 68-43-42-09-01-070-0121
EXISTING USE:	VACANT COMMERCIAL
PROPOSED USES:	RESIDENTIAL DWELLING - MULTI-FAMILY RENTAL (PERMITTED) BUSINESS STORES & SERVICES, GENERAL (PERMITTED) RESTAURANT (PERMITTED)
GROSS SITE AREA:	4.09 AC. / 178,413 SF
MAX. DENSITY PERMITTED:	24 DU/AC BY RIGHT, UP TO 36 DU/AC WITH WORKFORCE HOUSING DENSITY BONUS
DENSITY PROPOSED:	36 DU/AC / 147 UNITS WITH WORKFORCE HOUSING DENSITY BONUS
1-BEDROOM =	78 UNITS
2-BEDROOM =	69 UNITS
TOTAL =	147 UNITS
BUILDING HEIGHT (SEC. 45-31):	4 STORIES / 46'8" HT.
Note:	The maximum height of a building in feet is controlled by the maximum ceiling heights for individual stories, as provided in subsection 45-31.E.5.
PUBLIC USE AREA (SEC. 36-23):	MIN. 0.20 AC. / 5% SEE SHEET RP-3 PUA DIAGRAM FOR LOCATION

Concurrency Summary

MULTI-FAMILY RESIDENTIAL	147 UNITS
RESTAURANT	1,978 SF*
* INCLUDES OUTDOOR DINING AREA	

PARKING DATA:

PARKING REQUIRED	203 SPACES
MULTI-FAMILY RESIDENTIAL: 1.25 / UNIT @ 144 UNITS =	180 SPACES
LIVE-WORK: 1.0 / 1,000 SF @ 2,616 SF / 3 LIVE WORK UNITS =	3 SPACES
RESTAURANT: 10 PER 1,000 SF @ 1,978 SF (1,578 SF plus 400 SF patio) =	20 SPACES
PARKING PROVIDED	234 SPACES*
SURFACE PARKING:	162 SPS. (COVERED & UNCOVERED)
UPPER LEVEL PARKING DECK:	72 SPS
ACCESSIBLE PARKING:	8 SPS. (12' x 18')
(INCLUDED IN PARKING PROVIDED COUNT ABOVE, FOR 201-300 SPACES PROVIDED)	

* NOTE: A MINIMUM OF SIX (6) OF THE PROVIDED PARKING SPACES SHALL BE FOR ELECTRIC VEHICLE (EV) CHARGING STATIONS. 4 EV SPACES ARE PROVIDED IN THE UNCOVERED PARKING AREA AND 2 EV SPACES ARE PROVIDED IN THE COVERED PARKING AREA.

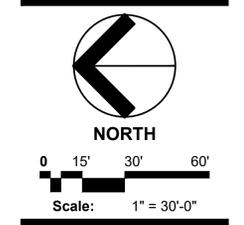
- Notes**
- Base information based on survey prepared by Brown & Phillips, Inc. with title commitment dated October 2020.
 - Prior to construction, all utility locations to be verified to ensure that landscape material does not conflict with utilities.
 - All stop bars shall be setback 4' in advance of pedestrian crosswalks.
 - All accessible paved routes shall not exceed a 20:1 slope.
 - Locations of all proposed traffic signage shall be established by the engineer of record.
 - Curbing details to be shown on engineering construction plans.
 - Surrounding property information shown for informational purposes only.
 - Handicap parking signs shall be placed behind the sidewalk in areas where sidewalk abuts the stall.

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200 YACHT CLUB DRIVE
MIXED-USE RESIDENTIAL
North Palm Beach, Florida
PRELIMINARY SITE PLAN



Date: OCTOBER 2020
Project No.: 20-013.000
Designed By: MLC
Drawn By: MLC
Checked By: KT

Revision Dates:

2023.05.03:	REVISED SPR SUBMITTAL
2023.06.30:	SPR Resubmittal #1
2023.08.18:	SPR Resubmittal #2
2023.10.23:	Planning Comm. Comment Resub.
2025.04.15:	AA#1 SUBMITTAL

PSP-1
of 1

LEGEND:

AC. =	ACRE(S)	D	ENCLOSED REFUSE STORAGE ROOM FOR TRASH/RECYCLING DUMPSTERS (SEE DETAIL SHEET RP-2)	R	PROPOSED RELOCATED TREE LOCATION (6 EXISTING OAKS). DISPOSITION TO BE FINALIZED AT TIME OF LANDSCAPE PLAN PERMIT REVIEW.
BTZ =	BUILD TO ZONE	TR	PRELIMINARY SITE FURNISHING - TRASH RECEPTACLE		
EX. =	EXISTING FRONTAGE DIAGRAM				
FH =	EXISTING FIRE HYDRANT (REFER TO CIVIL PLAN)				
PKG. =	PARKING				
R/W =	RIGHT OF WAY				
S.B. =	SETBACK				
S/W =	SIDEWALK				
T =	POSSIBLE ELEC. TRANSFORMER LOCATION TO BE ABANDONED OR RELEASED				
T.B.A. =	UTILITY EASEMENT				
U.E. =	UTILITY EASEMENT				
	PROPOSED ELECTRIC VEHICLE CHARGING SPACE				

DEVELOPMENT TEAM:

ARCHITECT: SpinaOrouke + Partners
285 Banyan Blvd.
West Palm Beach, FL 33401
561.684.6844

LANDSCAPE ARCHITECT/PLANNER: Urban Design Studio
610 Clematis St. Ste. CU02
West Palm Beach, Florida 33401
561.366.1100

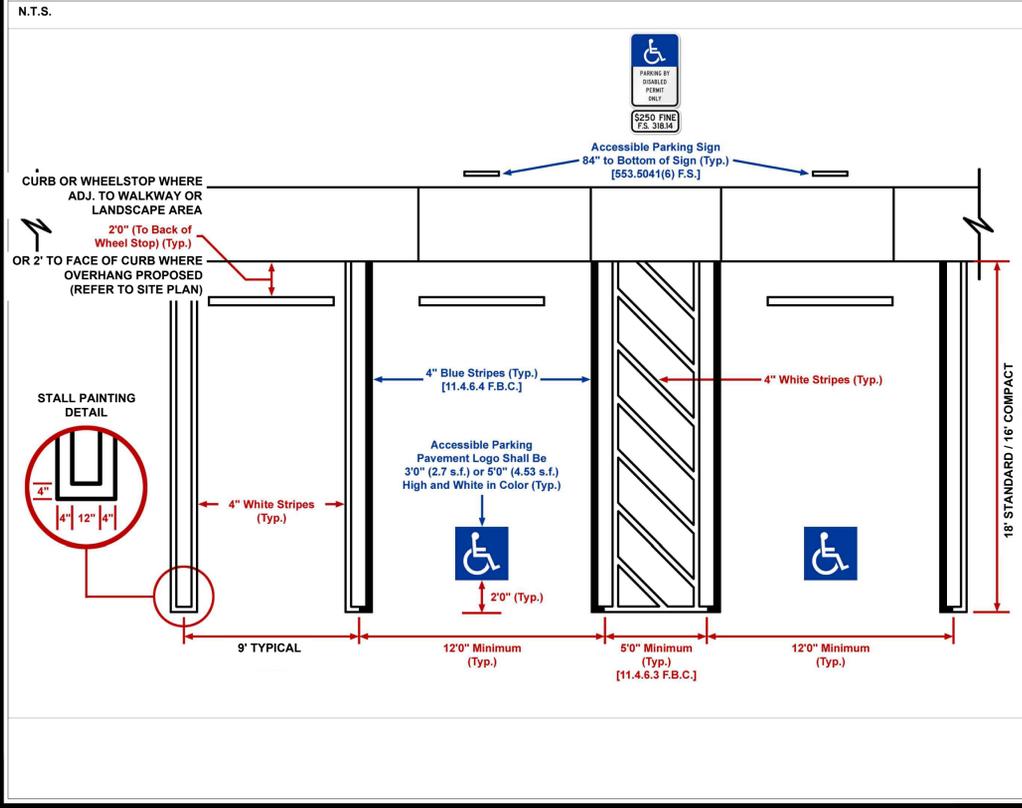
CIVIL & TRAFFIC ENGINEER: Simmons & White, Inc.
2581 Metrocentre Blvd., Suite 3
West Palm Beach, FL 33407
561.478.7848

SURVEYOR: Brown & Phillips, Inc.
1800 Old Okeechobee Rd., Ste. 509
West Palm Beach, FL 33409
561.615.3988

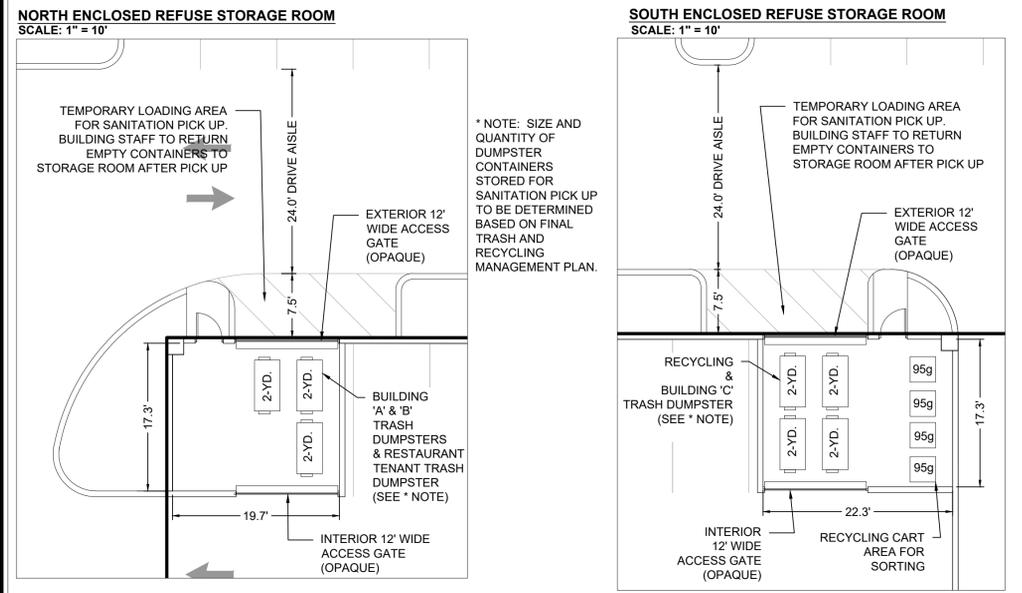
REQUESTED C-MU WAIVERS

WAIVER#	CODE	REQUIREMENT	PROPOSED	WAIVER
W.1	Sec. 45-31.D.2, Table 4 Building Frontage: Storefront	Build-to-zone: 0' min. / 5' max. Building Frontage: 60% min.	Yacht Club Drive: 12' max. U.S. Highway 1: 9' max. Yacht Club Drive: 57% * U.S. Highway 1: 64% * *percentage of facade within the proposed build-to-zone	Yacht Club Dr.: 7' INCREASE U.S. Highway 1: 4' INCREASE To allow percentage to be based on portion of facade located within the proposed build-to-zone with 57% frontage on Yacht Club Drive (3% reduction) and 64% frontage on U.S. Highway 1
		Door Recess: 5' Max.	Yacht Club Drive: 6.5' US Highway 1: 6.5'	Yacht Club Drive: 1.5' INCREASE U.S. Highway 1: 1.5' INCREASE
		Cumulative Storefront Width: 70% of building frontage min.	Yacht Club Drive: 53%	Yacht Club Drive: 17% REDUCTION
		Transparency: Ground: 70% min. Upper: 40% min.	Bldg. A North: 37% / 35% Bldg. A West: 68% / 37% Bldg. B West: 34% / 37% Bldg. C West: 32% / 34%	33% / 5% REDUCTION 2% / 3% REDUCTION 36% / 3% REDUCTION 38% / 6% REDUCTION
W.2	6.115.C.2 Building Wall Signs	C. Maximum sign area of five (5) percent of the facade area if the front building setback is twenty-five (25) feet minimum.	Sign Type 2 - Tenant Sign: Maximum sign area of five (5) percent of the facade area with a front building setback of 0' due to code-required build-to-zones.	Removal of 25' Setback requirement.

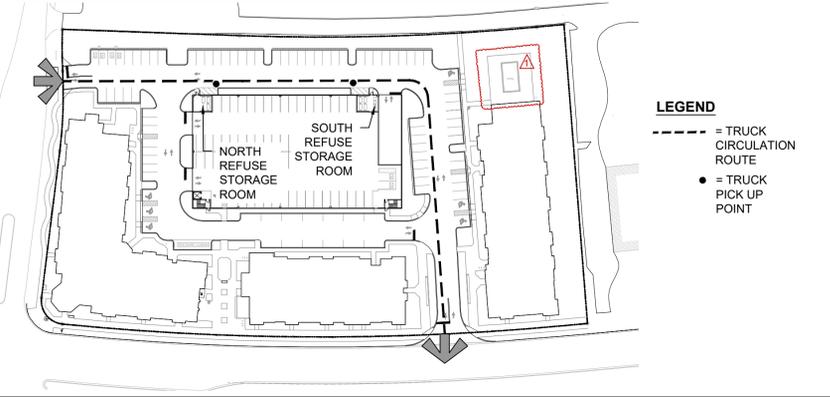
TYPICAL PARKING SPACE DETAIL



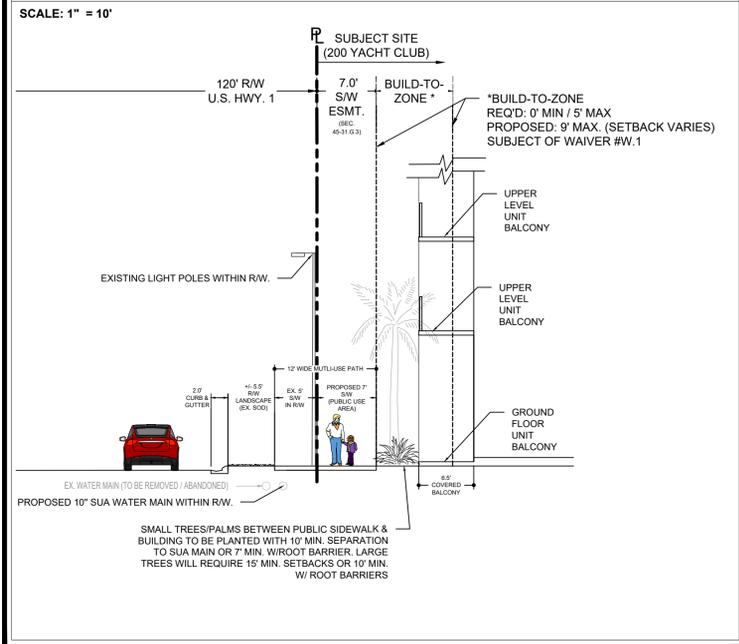
REFUSE CONTAINER STORAGE & PICK UP DETAIL



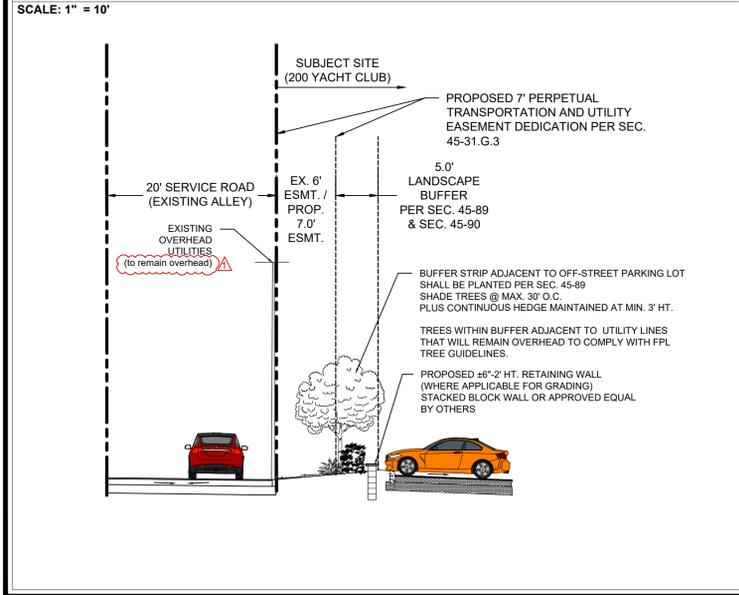
REFUSE STORAGE LOCATION MAP / GARBAGE TRUCK CIRCULATION DIAGRAM



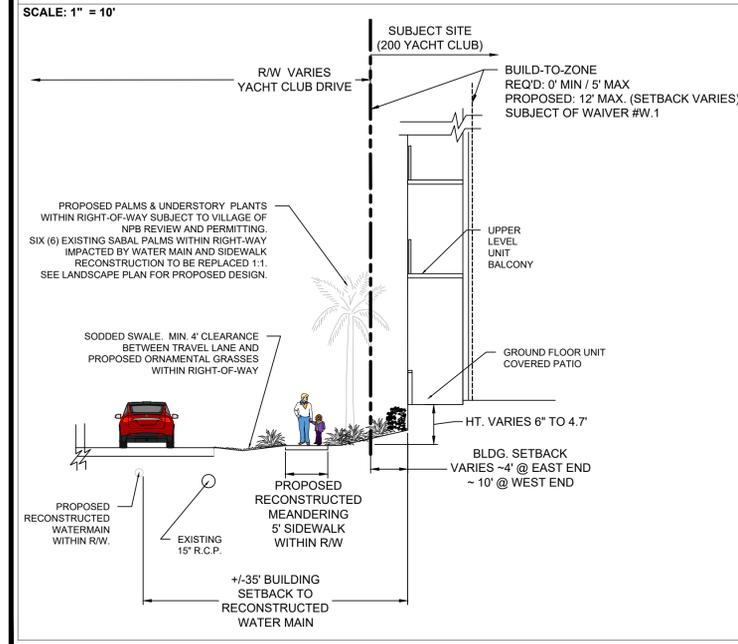
SECTION 'A' - U.S. HIGHWAY 1 FRONTAGE



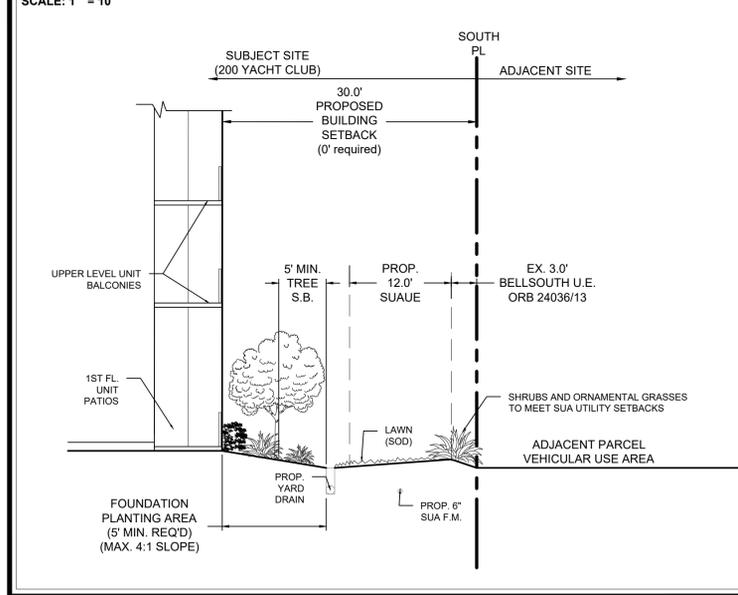
SECTION 'B' - EAST BUFFER

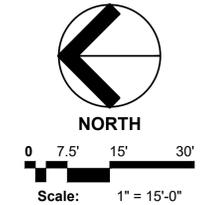


SECTION 'C' - YACHT CLUB DRIVE FRONTAGE



SECTION 'D1' - SOUTH BUFFER



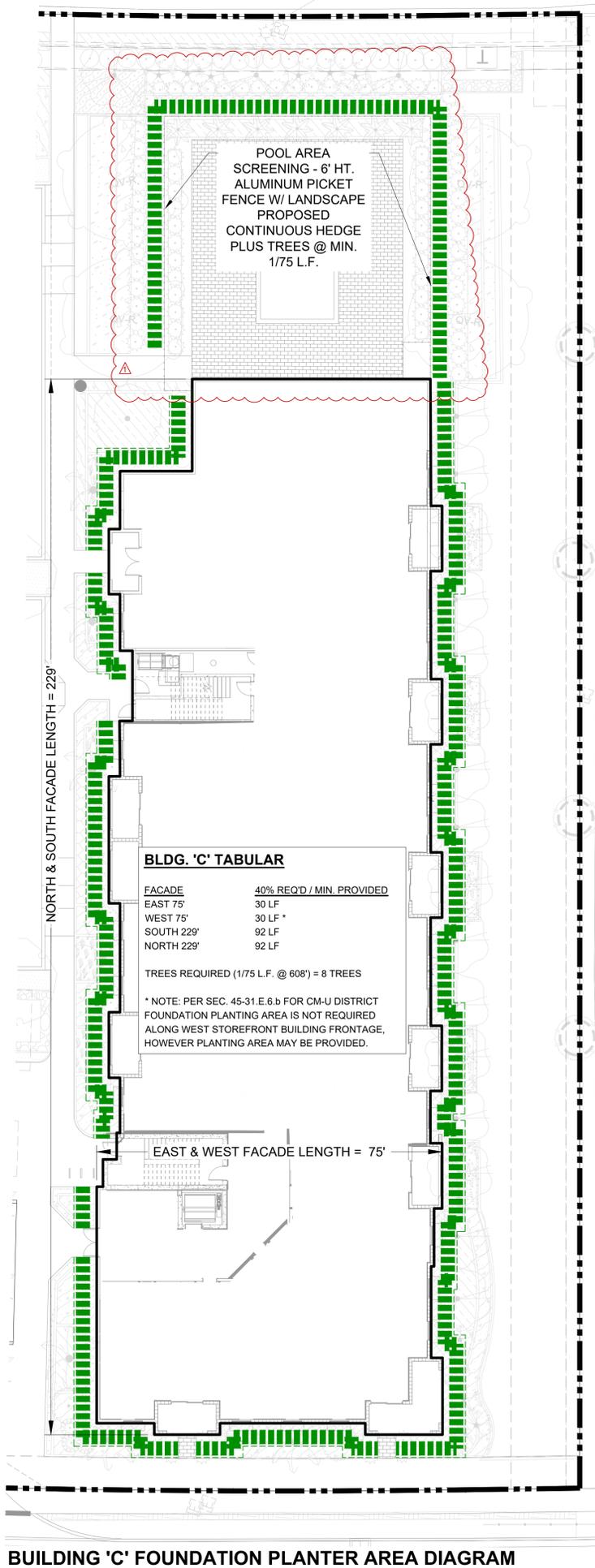


Date:	October, 2020
Project No.:	20-013.000
Designed By:	MLC
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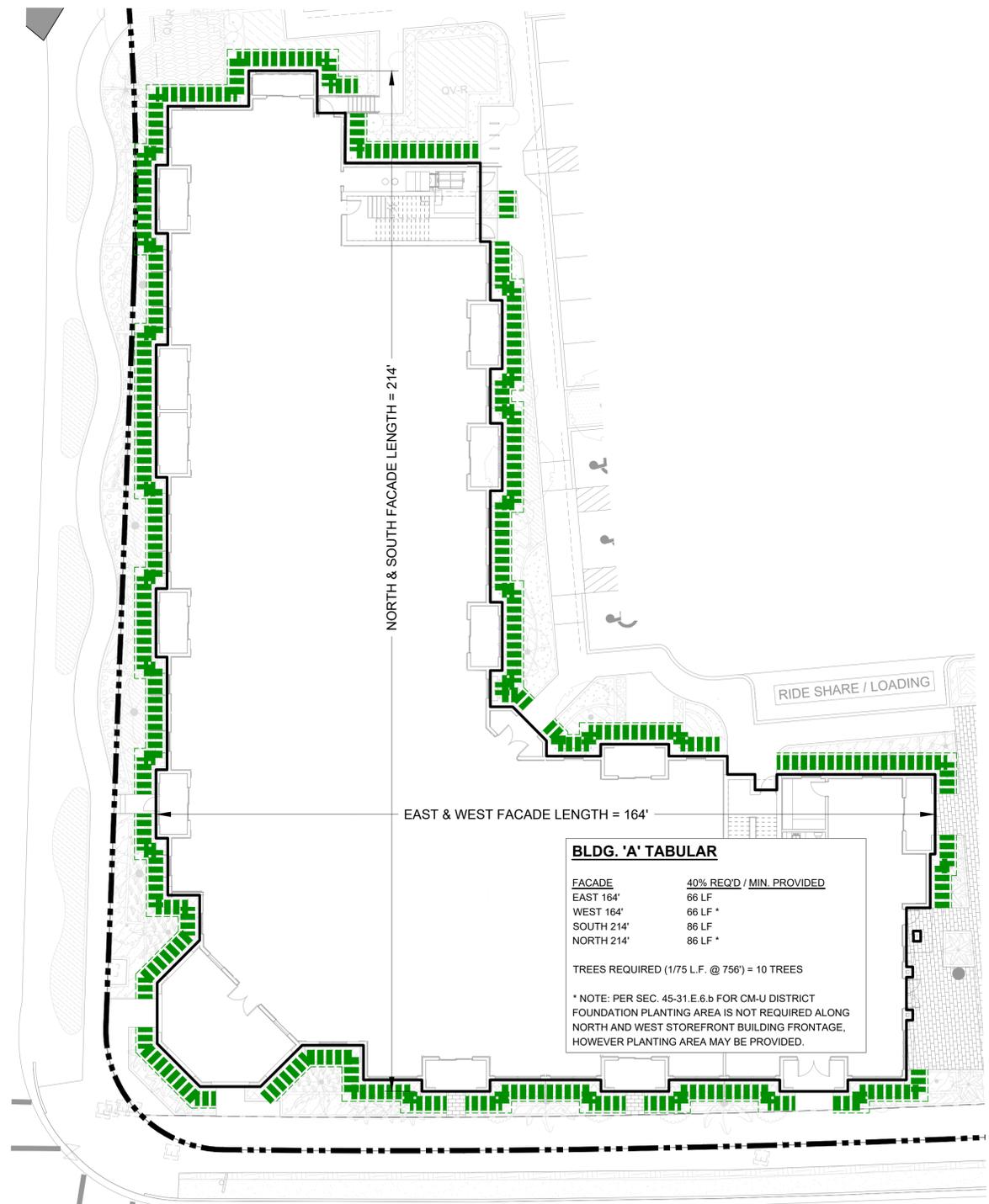
LANDSCAPE REQUIREMENTS FOR BASE OF FOUNDATION (PER SEC. 45-91)

- LANDSCAPING REQUIRED WITHIN 5' OF ALL BUILDINGS AND STRUCTURES
- COMBINED LENGTH OF PLANTING: MIN. 40% OF EACH SIDE OF THE STRUCTURE.
- MIN. 1 TREE PER EA. 75 L.F. OF BUILDING PERIMETER, USING A SPECIES SUITABLE FOR THIS LOCATION.
- PER SEC. 45-31.E.6.b FOR CM-U DISTRICT FOUNDATION PLANTING AREA IS NOT REQUIRED FOR BUILDINGS WITH STOREFRONT BUILDING FRONTAGE ALONG US1 AND YACHT CLUB DRIVE, HOWEVER PLANTING AREA MAY BE PROVIDED.

 INDICATES LANDSCAPE AREA PROVIDED WITHIN 5' OF THE BUILDING OR STRUCTURE. SEE PRELIMINARY LANDSCAPE PLAN FOR DETAILED PLANTING LAYOUT.



BUILDING 'C' FOUNDATION PLANTER AREA DIAGRAM



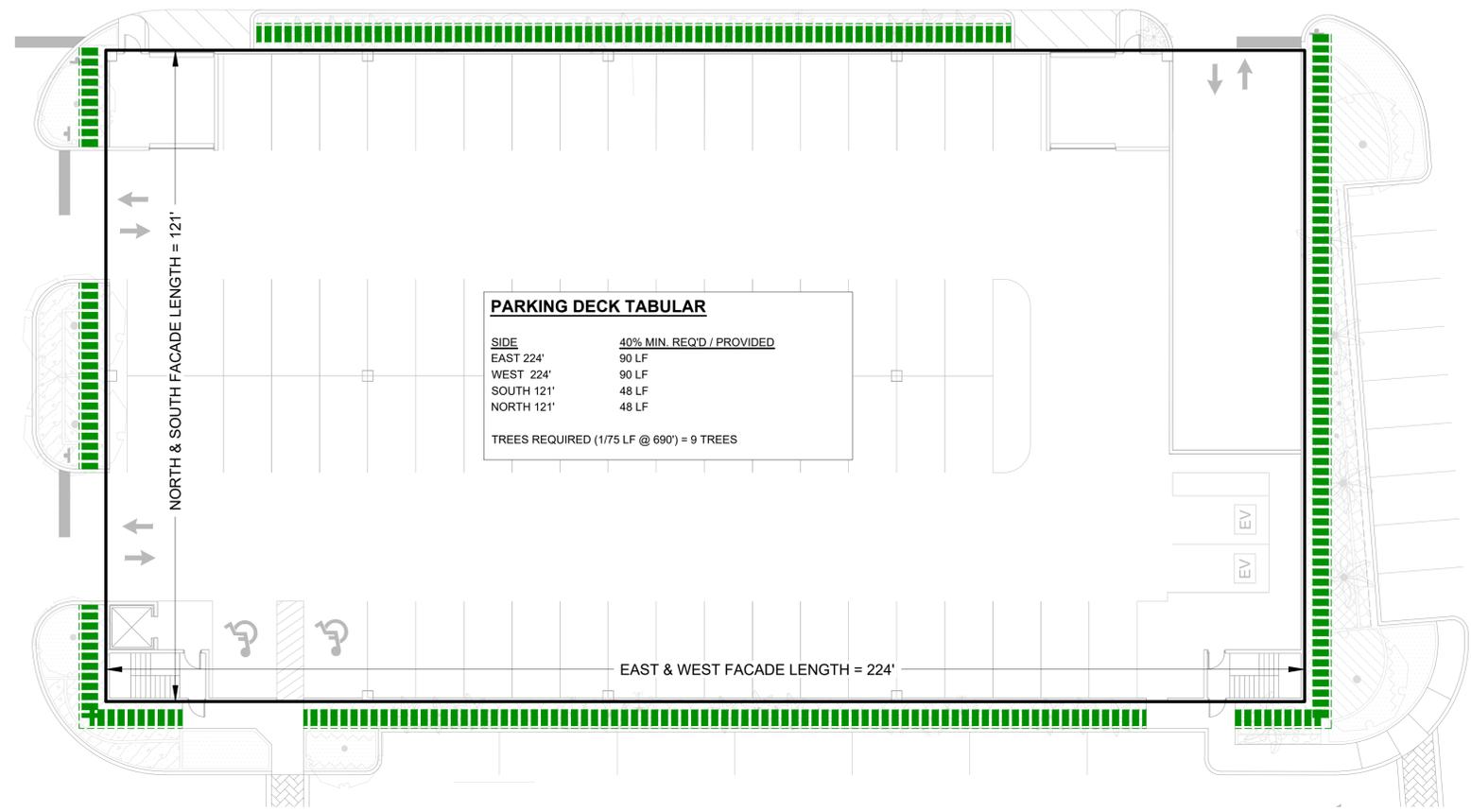
BUILDING 'A' FOUNDATION PLANTER AREA DIAGRAM

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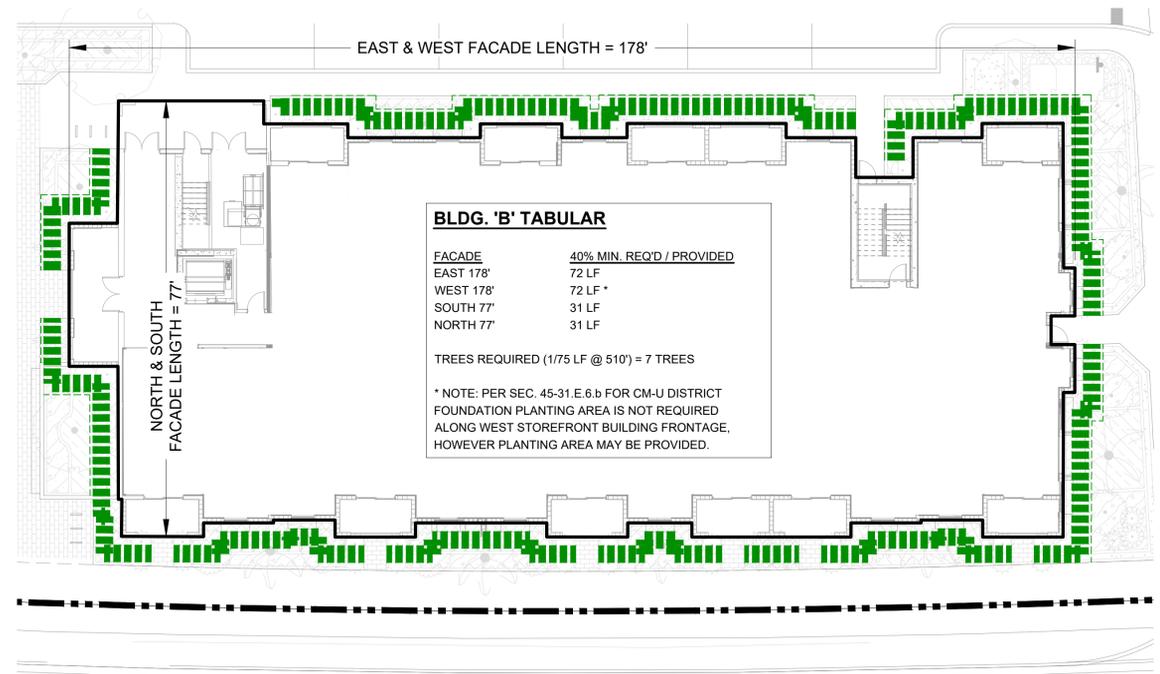
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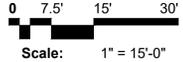


PARKING DECK STRUCTURE FOUNDATION PLANTER AREA DIAGRAM



BUILDING 'B' FOUNDATION PLANTER AREA DIAGRAM

200 YACHT CLUB DRIVE
MIXED-USE RESIDENTIAL
North Palm Beach, Florida
FOUNDATION PLANTER AREA DIAGRAM



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