

DIVISION 01 SPECIFICATIONS (CONT.)

Table with columns: NO., REVISION, DATE. Includes rows for BID SET and 04/04/2025.

CONSULTANT:

SECTION 01 35 29 - HURRICANE / TROPICAL STORM PREPAREDNESS

PART I GENERAL
1.01 REQUIREMENTS
A. The CONTRACTOR is responsible for having plans for protection of the work site during hurricanes and shall prepare and submit a Hurricane/Tropical Storm Preparedness Plan prior to any construction activity and mobilization.
B. The CONTRACTOR shall maintain existing flows and shall reopen any drainage conveyances that have been diverted or blocked as part of the construction process prior to the weather event.
C. The CONTRACTOR shall work with the VILLAGE as directed in the event of a hurricane, tropical storm, or as otherwise directed, to draw down drainage basins to create storage as necessary.
D. The Hurricane/Tropical Storm Preparedness Plan shall be submitted at the Preconstruction Meeting for approval and shall include the following:
1. Items and equipment that must be removed from the work site.
2. Methods and materials that will be utilized to secure the materials and work site.
3. Methods and materials that will be utilized to protect uncompleted work items.
4. Plans for evacuation of staff from the work site.
5. Plans for monitoring local weather conditions, National Weather Service weather reports, and local emergency management instructions.
6. Items that must commence at the time of hurricane water in order to be completed and their anticipated duration.
E. The CONTRACTOR shall immediately mobilize his work forces when a Hurricane/Tropical Storm Watch is issued, and they shall commence with those items in the Hurricane/Tropical Storm Preparedness Plan required to provide hurricane evacuation before a Hurricane Warning is issued.
F. When the National Weather Service's issues a Hurricane/Tropical Storm Watch for Broward County or adjoining counties, the Contractor shall immediately implement the Hurricane/Tropical Storm Preparedness Plan.
G. The Cost of preparing and implementing the Hurricane/Tropical Storm Preparedness Plan shall be the responsibility of the CONTRACTOR. The CONTRACTOR shall follow all instructions from local emergency management officials regarding evacuation of the work site.
1.02 SUBMITTALS
A. Submittal of the Hurricane/Tropical Storm Preparedness Plan shall be in accordance with Section 01 33 00- Submittal Procedures.
END OF SECTION

SECTION 01 38 00 - CONSTRUCTION PHOTOGRAPHS & PHOTOGRAPHICS DOCUMENTATION

1. GENERAL
1.01 DESCRIPTION OF WORK
A. The Contractor shall provide digital color photographs of all construction areas prior to start of work and to take construction record color photographs periodically during the course of the Work.
B. Take photographs with maximum depth of field and in focus, to clearly show the work. Photographs with blurry or out-of-focus areas will not be accepted.
1.02 PHOTOGRAPHY REQUIRED
A. Progress photographs shall be submitted to the Architect with each Application for Payment.
B. Photographs shall be submitted to the Architect with each Application for Payment.
1. Prior to commencement of any demolition/removal work.
2. Of existing improvements that are to remain prior to commencement of work adjacent thereto.
3. Of existing improvements upon completion of adjacent work.
4. Of existing structures that are to be relocated, both before and after relocation.
5. Upon completion of foundations of the new structure.
6. Upon completion of structural framing of new structure.
7. Upon enclosure of new structure.
8. Upon completion of construction of new structure.
9. Upon enclosure of new structure.
10. Upon completion of installation of equipment and facilities.
11. Upon completion of all work and finishes.
C. Maintain key plan with each set of construction photographs that identifies each photographic location.
D. Preconstruction Photographs: Before commencement of demolition, take photographs of Project site and surrounding properties, including existing items to remain during construction, from different vantage points.
1. Flag construction limits before taking construction photographs.
2. Take 10 photographs to show existing conditions adjacent to property before starting the Work.
3. Take 10 photographs of existing buildings either on or adjoining property to accurately record physical conditions at start of construction.
4. Take additional photographs as required to record settlement or cracking of adjacent structures, pavements, and improvements.
E. Periodic Construction Photographs: Take 10 photographs weekly, with timing each month coinciding with the cutoff date associated with each Application for Payment. Select vantage points including aerial photographs to show status of construction and progress since last photographs were taken.
1. Provide photos in PDF format. Contractor to email photos in PDF format to Owner and Architect.
1.03 COSTS OF PHOTOGRAPHY
A. The contractor shall pay the cost for all specified photography documentation

PART 2 - PRODUCTS
2.01 IMAGES
A. Digital Color: Images
1. High Resolution
B. Electronic Format
1. All images shall be emailed in electronic format.
C. Identify each Image shall be titled:
1. Name and number of Project
2. Orientation of view
3. Date and time of exposure

PART 3 - EXECUTION
3.01 VIEW REQUIRED
A. Photograph from locations to adequately illustrate condition of construction and state of progress.
1. At successive periods of photography. Take at least one photograph from the same overall view as previously.
2. Consult with the Architect at each period of photography for instruction concerning views required.
3.02 ELECTRONIC FORMAT
A. Deliver Emailed in Electronic Format (J-PEG Format) with each Application for Payment.
B. Distribution of prints as soon as processed is anticipated to be as follows:
1. Architect Emailed in Electronic Format (J-PEG Format).
2. Project Record File: One copy to be stored by Contractor and furnished to Architect at project completion.
3. Contractor: One Emailed in Electronic Format (J-PEG Format).

PART 4 - MEASUREMENT AND PAYMENT
4.01 MEASUREMENT
A. Work under this Section will not be separately measured for payment.
END OF SECTION

SECTION 01 40 00 - QUALITY REQUIREMENTS

PART I. GENERAL
1.1 SCOPE
A. Field engineering and surveying
B. Preparation and examination
C. Inspection and testing
1.2 INSPECTION AND TESTING
A. The contractor shall be responsible for contacting and coordinating with the testing agency and scheduling tests, as they are required.
B. The structural engineer of record will be performing the reinforced masonry inspections as required by the building department.
C. The tests that are required are as follows. These are in addition to tests required of each Section or as required by the Architect, Engineer or local code officials during the course of Construction:
1. Soils testing.
2. Concrete samples and testing.
3. Tests as noted in Mechanical section of these Specifications and Drawings.
4. Tests as noted in the Structural Sections of these Specifications and Drawings.
5. Slab moisture test (aluminum chloride).
6. Testing and Balancing as noted in Mechanical section of the Specifications and Drawings.
D. Repair and/or replacement of work not conforming to the Specifications of this Project and the re-testing of this work, shall be performed by the Contractor at no additional cost.
E. Village of North Palm Beach shall contract and compensate a materials testing company for this project. All initial materials testing shall be paid by Village of North Palm Beach of Southwest Ranches. Re-testing, if necessary, shall be paid by the Contractor.
F. All testing reports shall be submitted to the Architect and to the Owner.
1.3 FIELD ENGINEERING AND SURVEYING
A. It is the contractor's responsibility to ensure that the building is placed as shown on the drawings and all datum are correct.
B. The contractor shall hire an independent surveyor to verify location of foundation as required by the local building officials prior to start of framing. Contractor shall coordinate this work and ensure that the proper submittals are made to the local building department.
C. The Contractor shall be responsible for verifying all field measurements and site conditions as they pertain to general layout of the Building and the Shop Drawings.
1.4 PREPARATION AND EXAMINATION
A. Clean all surfaces prior to applying next material.
B. Prepare all surfaces including priming, cleaning, and application of sealer or bonding agent as per manufacturer's written specifications.
C. Verify that existing site and substrate conditions are acceptable prior to starting subsequent Work. Beginning of new Work is an implied acceptance of the existing conditions.
D. All substrates shall be prepared for the finish work as required of each Section. Contractor shall be responsible for coordinating the work of all trades to ensure that all work is properly prepared.
E. Coordinate the work of all trades to ensure that all work is properly prepared.
F. When requested by the Architect, the Contractor shall obtain written confirmation by subcontractors of the acceptance of substrates prior to starting their respective work.
END OF SECTION

SECTION 01 50 00 - TEMPORARY FACILITIES AND CONTROLS

PART I. GENERAL
1.1 SCOPE
A. Site office (IF REQUIRED BY THE GC)
B. Temporary services
C. Signage
D. Staffing
E. Site protection
F. Site access
1.2 SITE OFFICE (IF REQUIRED BY THE GC)
A. Contractor shall provide a air conditioned construction trailer or construction container on site to conduct his or her site operations.
B. Contractor shall provide an office on site to conduct his or her site operations.

1.3 SITE SAFETY
A. Provide protective fencing and barriers at walks and parking to ensure safe passage on site.
B. Site protection shall include, but not be limited to, the following:
1. Side walk barriers including:
a. Barriers shall conform to all local ordinances for fencing and construction barriers.
b. Contractor shall provide all drawings required for permitting.
c. Contractor shall file for and pay for all permits required for sidewalk barriers.
d. Permanent signage as required to identify safe passage route.
2. Fencing at excavated areas:
a. Provide and install plastic orange mesh fencing at areas that have been excavated.
b. Provide adequate support for this fence to keep it in place throughout the course of the project. Use steel or wooden stakes as required for this purpose.
c. Fencing material and installation must conform to local and federal regulations governing site protection.
d. Maintain this fencing on a daily basis to ensure that it is in tack and provides the protection it is required to provide.
3. Temporary lighting of site shall be required as follows:
a. Provide lighting of interior spaces to ensure safe passage.
b. Maintain this lighting during the course of the job to ensure it's proper function.
C. Fence enclosing perimeter of site is required and shall be as follows:
1. Galvanized wire hurricane type fence, 6 feet tall, with galvanized steel posts. Fence shall have a lockable gate of adequate width to accommodate construction vehicles and equipment.
2. Solid plywood barrier attached to wooden posts and wood framing. Barrier shall have lockable gates and doors as required to provide access to site by workers and equipment.
3. Fencing shall conform to the requirements of the local building officials.
D. Provide site signage as follows:
1. At perimeter of site, post NO TRESPASSING signs to adequately notify the public not to enter the site.
2. Signage at perimeter fence shall include the following:
a. Construction area: KEEP OUT
b. HARD HAT AREA
c. Emergency phone numbers.
E. Construction is to be limited only to those areas agreed upon at the pre-construction meeting. Contractor shall be responsible for insuring that all subcontractors are aware of these rules and adhere to them.

1.4 TEMPORARY SERVICES AND UTILITIES
A. The Contractor shall provide temporary toilets with a weekly cleaning service contract. The toilets will be allowed to be used by other Contractor's workers. Contractor and/or its subcontractors shall not use existing restrooms facilities in park.
B. Contractor shall, using existing or temporary utility connections, provide the job with power, lights, water, ventilation, and heating as required to construct the project.
C. Owner shall pay electrical bills during construction.
D. Owner shall pay water bills.

1.5 STAFFING
A. Contractor shall provide a list of proposed subcontractors to Architect and Owner for review. This list shall be presented for review prior to signing Contract.
B. Contractor shall provide the following staff to manage the project throughout it's duration at a minimum:
1. Full time on-site project superintendent that has a reasonable level of decision making authority.
2. A project manager to be present at all project meetings and available at any time by cell phone.
3. Contractor shall provide labor staff as required to keep site neat, clean, protected and well organized. This shall mean at least one full time laborer.
4. All project managers & superintendents shall speak clear and understandable English.

1.6 SITE ACCESS
A. Access to Village or Village streets shall be coordinated by the Contractor with the local highway or traffic department.
B. Contractor shall comply with all Village ordinances in regards to maintaining and keeping the public streets clean and free of construction debris, mud and dust.
C. Where work is in a unit within a larger building, contractor shall obey all building rules in regards to protecting public spaces and access to project.
END OF SECTION

SECTION 01 74 19 - CONSTRUCTION WASTE MANAGEMENT

PART 1. GENERAL
1.1 DESCRIPTION
A. This section specifies the requirements for the management of non-hazardous building construction and demolition waste.
B. Waste disposal in landfills shall be minimized to the greatest extent possible. Of the inevitable waste that is generated, as much of the waste material as economically feasible shall be salvaged, recycled or reused.
C. Contractor shall use all reasonable means to divert construction and demolition waste from landfills and incinerators, and facilitate their salvage and recycle not limited to the following:
1. Waste Management Plan development and implementation.
2. Techniques to minimize waste generation.
3. Sorting and separating of waste materials.
4. Salvage of existing materials and items for reuse or resale.
5. Recycling of materials that cannot be reused or sold.
D. At a minimum the following waste categories shall be diverted from landfills:
1. Soil.
2. Inerts (eg. concrete, masonry and asphalt).
3. Clean dimensional wood and palette wood.
4. Green waste (biodegradable landscaping materials).
5. Engineered wood products (plywood, particle board and I-joists, etc).
6. Metal products (eg. steel, wire, beverage containers, copper, etc).
7. Cardboard, paper and packaging.
8. Bitumen roofing materials.
9. Plastics (eg. ABS, PVC).
10. Carpet and/or pad.
11. Gypsum board.
12. Insulation.
13. Paint.
14. Fluorescent lamps.

1.2 QUALITY ASSURANCE
A. Contractor shall practice efficient waste management when sizing, cutting and installing building products. Processes shall be employed to ensure the generation of as little waste as possible. Construction/Demolition waste includes products of the following:
1. Excess or unusable construction materials.
2. Poor planning and/or layout.
3. Construction error.
4. Over ordering.
5. Weather damage.
6. Contamination.
7. Mishandling.
8. Breakage.
B. Establish and maintain the management of non-hazardous building construction and demolition waste set forth herein. Conduct a site assessment to estimate the types of materials that will be generated by demolition and construction.
C. Contractor shall develop and implement procedures to recycle construction and demolition waste to a minimum of 50 percent.
D. Contractor shall provide all demolition, removal and legal disposal of materials. Contractor shall ensure that facilities used for recycling, reuse and disposal shall be permitted for the intended use to the extent required by local, state, federal regulations.
E. Contractor shall assign a specific area to facilitate separation of materials for reuse, salvage, recycling, and return. Such areas are to be kept neat and clean and clearly marked in order to avoid contamination or mixing of materials.
F. Contractor shall provide on-site instructions and supervision of separation, handling, salvaging, recycling, reuse and return methods to be used by all parties during waste generating stages.

1.3 TERMINOLOGY
A. Class III Landfill: A landfill that accepts non-hazardous resources such as commercial and industrial waste resulting from construction, and demolition operations.
B. Clean: Untreated and unpainted; uncontaminated with adhesives, oils, solvents, mastics and like products.
C. Construction and Demolition Waste: Includes all non-hazardous resources resulting from construction, remodeling, alterations, repair and demolition operations.
D. Dismantle: The process of parting out a building in such a way as to preserve the usefulness of its materials and components.
E. Disposal: Acceptance of solid wastes at a legally operating facility for the purpose of land filling (includes Class III landfills and inert fills)
F. Inert Backfill Site: A location, other than inert fill or other disposal facility, to which inert materials are taken for the purpose of filling an excavation, shoring or other soil engineering operation.
G. Inert Fill: A facility that can legally accept inert waste, such as asphalt and concrete exclusively for the purpose of disposal.
H. Inert Solids/Inert Waste: Non-liquid solid resources including, but not limited to, soil and concrete that does not contain hazardous waste or soluble pollutants at concentrations in excess of water-quality objectives established by a regional water board, and does not contain significant quantities of decomposable solid resources.
I. Mixed Debris: Loads that include commingled recyclable and non-recyclable materials generated at the construction site.
J. Mixed Debris Recycling Facility: A solid resource processing facility that accepts loads of mixed construction and demolition debris for the purpose of recovering re-usable and recyclable materials and disposing non-recyclable materials.
K. Permitted Waste Hauler: A company that holds a valid permit to collect and transport solid wastes from individuals or businesses for the purpose of recycling or disposal.
L. Recycling: The process of sorting, cleansing, treating, and reconstituting materials for the purpose of using the altered form in the manufacture of a new product. Recycling does not include burning, incinerating or thermally destroying solid waste.
1. Off-site Recycling - Materials hauled to a location and used in an altered form in the manufacture of new products.
M. Recycling Facility: An operation that can legally accept materials for the purpose of processing the materials into an altered form for the manufacture of new products. Depending on the types of materials accepted and operating procedures, a recycling facility may or may not be required to have a solid waste facilities permit or be regulated by the local enforcement agency.
N. Reuse: Materials that are recovered for use in the same form, on-site or off-site.
O. Source-Separated Materials: Materials that are sorted by type at the site for the purpose of reuse and recycling.
P. Solid Waste: Materials that have been designated as non-recyclable and are discarded for the purposes of disposal.

PART 2 - EXECUTION
3.1 COLLECTION
A. Provide all necessary containers, bins and storage areas to facilitate effective waste management.
B. Clearly identify containers, bins and storage areas so that recyclable materials are separated from trash and can be transported to respective recycling facility for processing.
C. Hazardous wastes shall be separated, stored, disposed of according to local, state, federal regulations.
3.2 DISPOSAL
A. Contractor shall be responsible for transporting and disposing of materials that cannot be delivered to a source-separated or mixed materials recycling facility to a transfer station or disposal facility that can accept the materials in accordance with state and federal regulations.
B. Construction or demolition materials with no practical reuse or that cannot be salvaged or recycled shall be disposed of at a landfill or incinerator.

3.3 REPORT
A. With each application for progress payment, submit a summary of construction and demolition debris diversion and disposal including beginning and ending dates of period covered.
B. Quantify all materials diverted from landfill disposal through salvage or recycling during the period with the receiving parties, dates removed, transportation costs, weight tickets, manifests, invoices. Include the net total costs or savings for each salvaged or recycled material.
C. Quantify all materials disposed of during the period with the receiving parties, dates removed, transportation costs, weight tickets, tipping fees, manifests, invoices. Include the net total costs for each disposal.

END OF SECTION

VNPB Golf Course Metal Building
951 US-1, North Palm Beach, FL 33408

CPZ ARCHITECTS, INC.
4314 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA, 33317
PHONE: (954) 792-8825 FAX: (954) 137-0559
AA 25000083 WWW.CPZARCHITECTS.COM



DRAWING TITLE:

DIVISION 1 SPECIFICATION SHEET

DRAWN: MZ
CHECKED: HR
DATE: 04/04/2025
SCALE: 1/2" = 1'-0"
PROJECT NO: 2372A
SHEET:

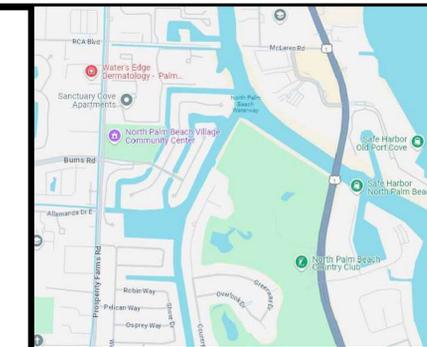
HEIDI RODRIGUEZ, A.I.A.
REGISTERED ARCHITECT NO. 102,411
STATE OF FLORIDA

G-003

DATE: 04/04/2025

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NOT FOR CONSTRUCTION



VICINITY MAP
NOT TO SCALE



SCALE: 1" = ##'

LEGEND	
BENCHMARK	⊕
BOLLARD	⊙
CLEANOUT	⊕
CONCRETE LIGHT POLE	⊕
ELECTRIC PANEL	⊕
GATE POST	⊕
PUMP	⊕
SATELLITE DISH	⊕
SIGN	⊕
TRANSFORMER	⊕
VALVE-IRRIGATION	⊕
WATER METER	⊕
OAK TREE (X=DBH in INCHES)	⊕
PALM TREE (X=DBH in INCHES)	⊕
FENCE-CHAINLINK	—x—
TOE OF SLOPE	—/—
TOP OF BANK	—/—
ASPHALT	▭
BUILDING	▭
CONCRETE	▭
SAND	▭

SURVEY REPORT:

- THIS IS A SPECIFIC PURPOSE SURVEY, PREPARED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17.051 THROUGH 5J-17.053, FLORIDA ADMINISTRATIVE CODE. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 9, 2024.
- THIS IS NOT A BOUNDARY SURVEY.
- THE SURVEY WAS BASED ON PALM BEACH COUNTY SURVEY CONTROL AND DIRECTIONS FROM CLIENT.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY BROWN & PHILLIPS, INC. THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY.
- THIS SURVEY WAS PREPARED FOR THE SPECIFIC PURPOSE OF SHOWING EXISTING CONDITIONS OF THE NORTH PALM BEACH GOLF COURSE MAINTENANCE BUILDING AREA.
- THE CONTRACTED PURPOSE OF THIS SURVEY IS FOR DESIGN OF A NEW BUILDING. THIS SURVEY IS NOT VALID FOR ANY OTHER USE.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY WAS PREPARED FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE: -CPZ ARCHITECTS, INC. THE USE OF THE DATA SHOWN HEREON BY ANY OTHER PARTY IS PROHIBITED.
- THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30', ON A 24"x 36" SHEET.
- SOME TOPOGRAPHIC FEATURES MAY BE EXAGGERATED IN SCALE FOR CLARITY. THE CENTER OF THE SYMBOL OF SUCH FEATURES IS THE CORRECT LOCATION.
- NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED AS PART OF THIS SURVEY.
- ELEVATIONS SHOWN HEREON ARE IN NORTH AMERICAN VERTICAL DATUM OF 1988, AND ARE REFERENCED TO PALM BEACH COUNTY BENCHMARK "NPB COUNTRY CLUB", ELEVATION=15.871.
- "X" DENOTES SPOT ELEVATION, REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- FLOOD ZONE INFORMATION OBTAINED FROM PALM BEACH COUNTY WEBSITE: "http://maps.co.palm-beach.fl.us/cwgis/?app=floodzones"; CURRENT FLOOD ZONE: "X"
- THE UNDERLYING 2023 PALM BEACH COUNTY AERIAL PHOTO IS SHOWN FOR INFORMATION ONLY AND IS NOT A PART OF THE SURVEY.
- © COPYRIGHT 2024 BY BROWN & PHILLIPS, INC. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND STAMP, OR A DIGITALLY VERIFIED ELECTRONIC SIGNATURE AND SEAL, OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY BROWN & PHILLIPS, INC.

ABBREVIATIONS:
 MNTT - MAG NAIL & TIN-TAB
 N/D - NAIL & DISK
 NTT - NAIL & TIN TAB
 NAD - NORTH AMERICAN DATUM
 LB - LICENSED BUSINESS
 WM - WATER MAIN
 TOW - TOP OF WALL
 EL - ELEVATION
 INV - INVERT
 BTM - BOTTOM
 DBH - DIAMETER at BREAST HEIGHT

DATE	REVISIONS	#

SKETCH OF
SPECIFIC PURPOSE
SURVEY

MAINTENANCE BUILDING
NORTH PALM BEACH GOLF
COURSE NORTH PALM
BEACH, FLORIDA

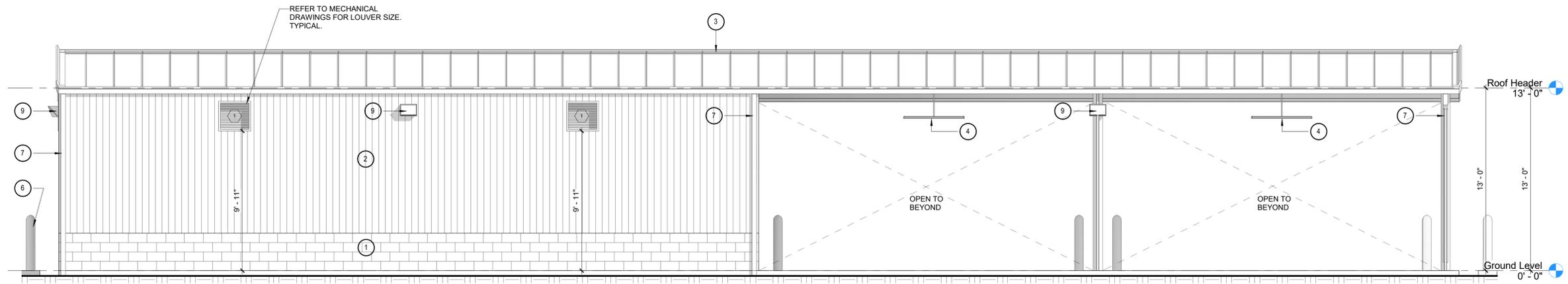
DRAWN: AB
CHECKED: JEP
F.B. NORTH PALM BEACH
PAGES: 67&68

PROJ. #24-090
SCALE: 1"=30'
DATE: SEPT. 2024
SHEET 1 of 1

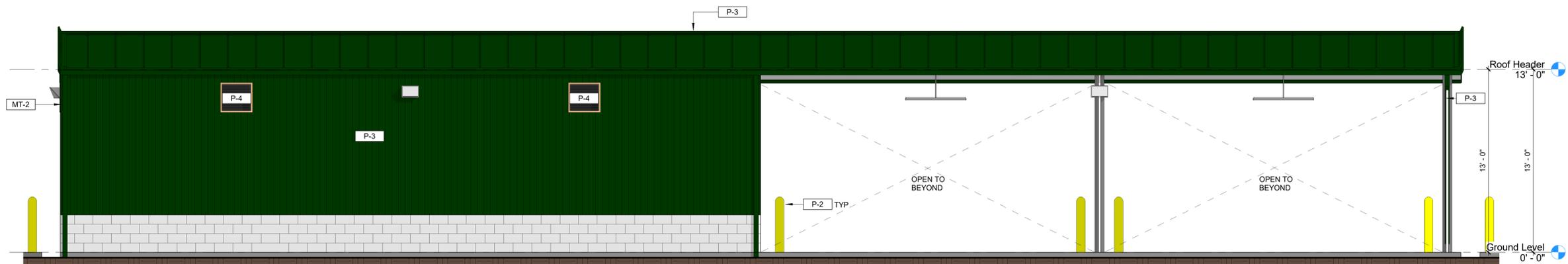
JOHN E. PHILLIPS III
PROFESSIONAL LAND SURVEYOR
STATE OF FLORIDA No. 4826
DATE: _____

NO.	REVISION	DATE
	BID SET	04/04/2025

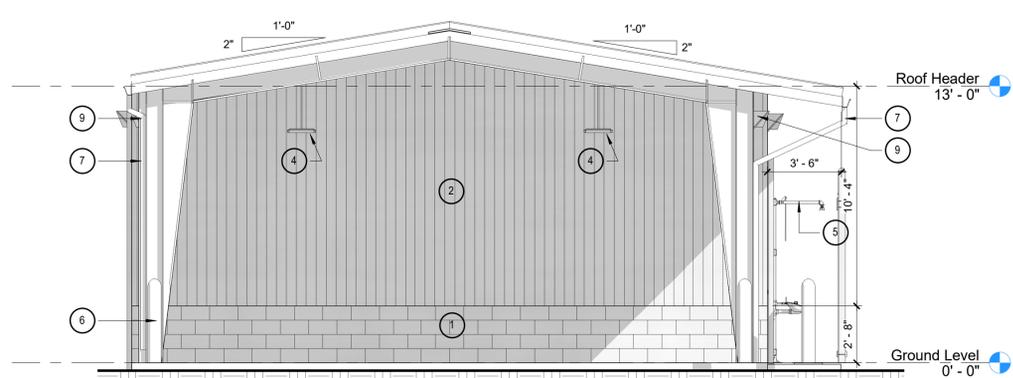
CONSULTANT:



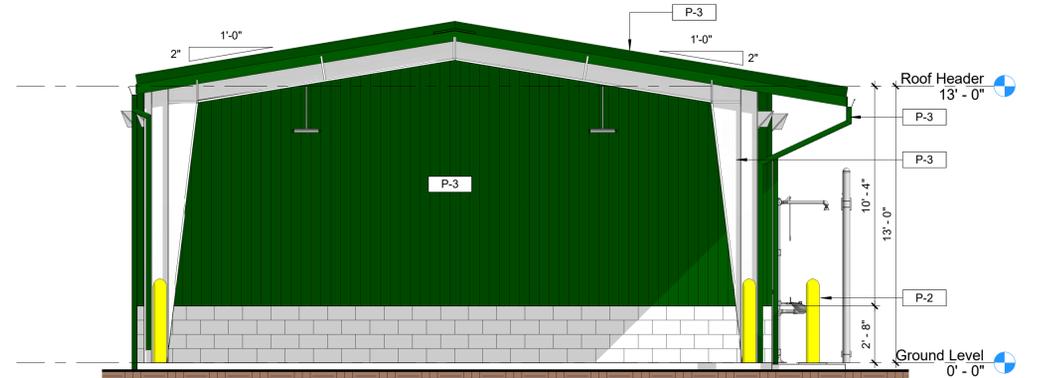
2 NORTH ELEVATION
A-201 SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION COLOR
A-201 SCALE: 1/4" = 1'-0"



6 WEST ELEVATION
A-201 SCALE: 1/4" = 1'-0"



7 WEST ELEVATION COLOR
A-201 SCALE: 1/4" = 1'-0"

SPECIFICATION:
 ROOF: SERIES A1300-1 1/2" MECHANICAL SEAMED PANEL OR APPROVED EQUAL.
 WALLS: UNILINE C-36 - 7.2"x1.5" RIB WALL PANEL SYSTEM OR APPROVED EQUAL.

EXTERIOR PAINT SPECIFICATION:
 METAL PANEL WALLS AND ROOF PANELS ARE FACTORY FINISHED PER MANUFACTURER.

COLOR LEGEND

	P-2 PAINTED EXTERIOR BOLLARDS - SW 4084 SAFETY YELLOW OR APPROVED EQUAL
	P-3 FOREST GREEN, BASIS OF DESIGN: ENGLERT UNILINE
	P-4 LOUVER MANUFACTURER FACTORY FINISH
	P-5 DOOR MANUFACTURER FACTORY FINISH

BUILDING ELEVATIONS GENERAL NOTES:

- PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. REFER TO SURVEY AND CIVIL DRAWINGS
- REFER TO MATERIAL SCHEDULE ON SHEET A-630 FOR ADDITIONAL INFORMATION.
- SEE SHEET A-610 FOR LOUVERS DETAILS AND PARTIAL ELEVATIONS.
- SEE STRUCTURAL DRAWINGS FOR WIND PRESSURES FOR ALL EXTERIOR OPENINGS.

BUILDING ELEVATIONS LEGEND:

	DOOR TAG (SEE DOOR SCHEDULE)
	LOUVER (SEE SCHEDULES)
	EQUIPMENT / FINISH COLOR TAG

ELEVATIONS KEY NOTES

- EXPOSED CMU
- METAL WALL PANELS ON ENGINEERED STRUCTURAL FRAME. SEE MATERIAL SPECIFICATIONS.
- METAL ROOF PANELS ON ENGINEERED STRUCTURAL FRAME. SEE MATERIAL SPECIFICATIONS.
- PENDANT LIGHTING FIXTURE
- EYE WASH
- BOLLARD
- DOWNSPOUT
- 4" JAMB GUARD
- WALL PACK LIGHT

VNPB Golf Course Metal Building
 951 US-1, North Palm Beach, FL 33408

CPZ ARCHITECTS, INC.
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 PHONE: (954) 792-8825 FAX: (954) 137-0559
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DRAWING TITLE:

EXTERIOR ELEVATIONS

DRAWN: MZ
 CHECKED: HR
 DATE: 04/04/2025
 SCALE: As Indicated
 PROJECT NO: 2372A
 SHEET:

A-201

NOT FOR CONSTRUCTION

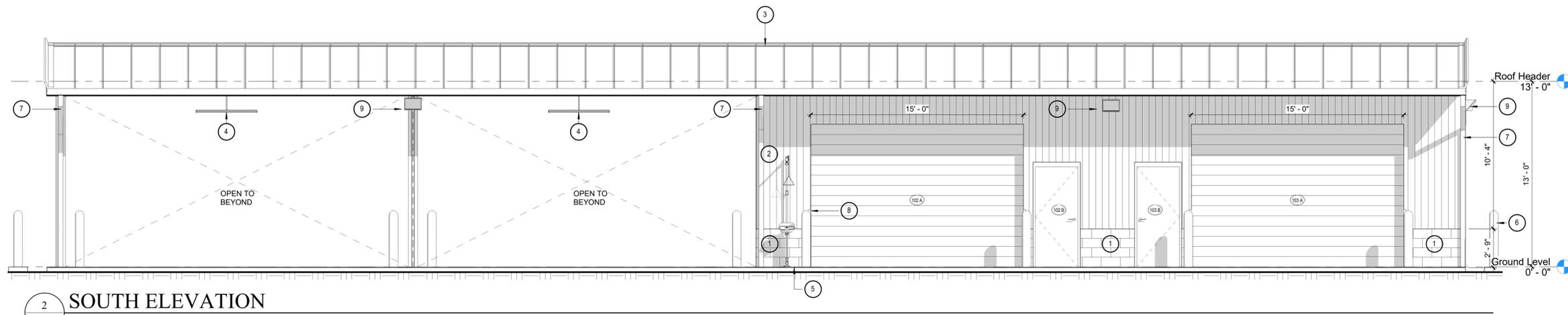
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 REGISTERED ARCHITECT NO. 102,411
 STATE OF FLORIDA

DATE: 04/04/2025

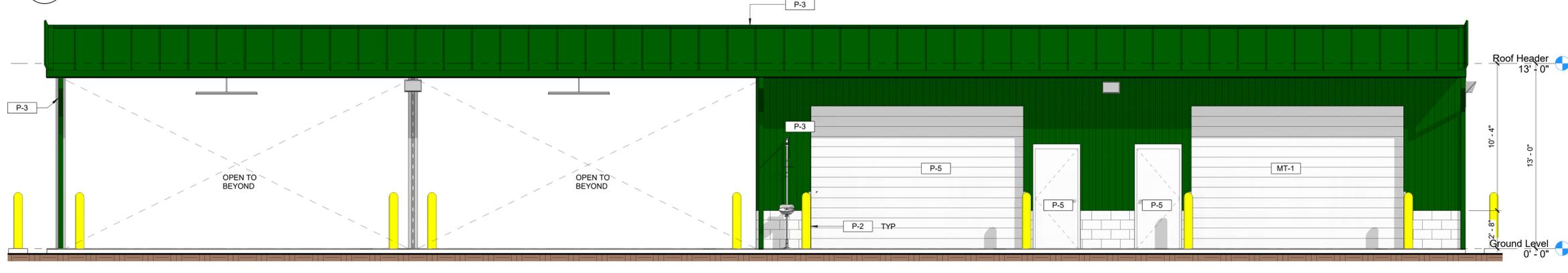
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NO.	REVISION	DATE
	BID SET	04/04/2025

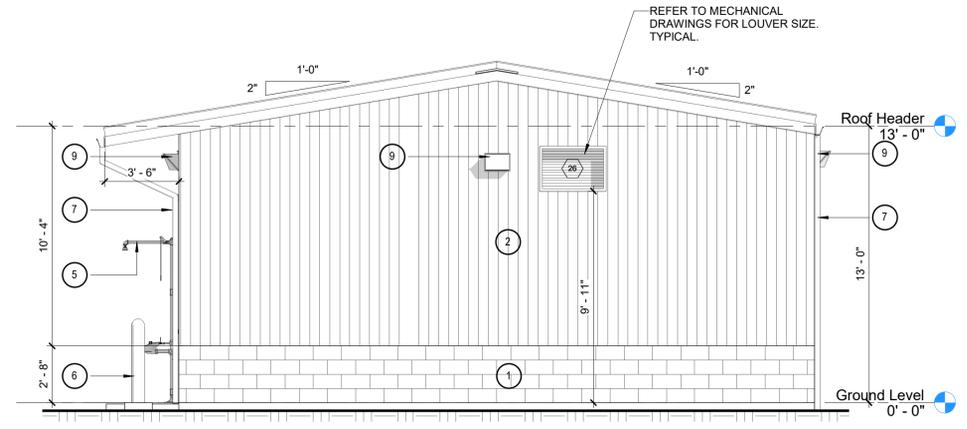
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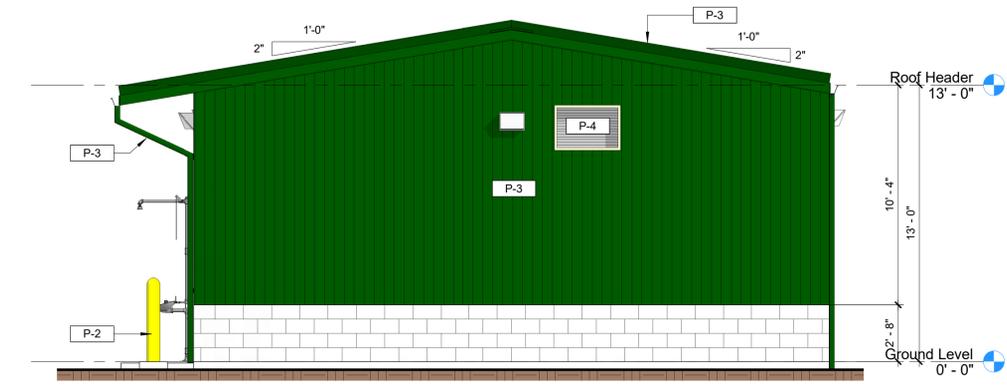
2 SOUTH ELEVATION
A-202 SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION COLOR
A-202 SCALE: 1/4" = 1'-0"



6 EAST ELEVATION
A-202 SCALE: 1/4" = 1'-0"



7 EAST ELEVATION COLOR
A-202 SCALE: 1/4" = 1'-0"

<p>SPECIFICATION:</p> <p>ROOF: SERIES A1300-1 1/2" MECHANICAL SEAMED PANEL OR APPROVED EQUAL.</p> <p>WALLS: UNILINE C-36 - 7.2"x1.5" RIB WALL PANEL SYSTEM OR APPROVED EQUAL.</p>
<p>EXTERIOR PAINT SPECIFICATION:</p> <p>METAL PANEL WALLS AND ROOF PANELS ARE FACTORY FINISHED PER MANUFACTURER.</p>

<p>COLOR LEGEND</p> <p> P-2 PAINTED EXTERIOR BOLLARDS - SW 4084 SAFETY YELLOW OR APPROVED EQUAL</p> <p> P-3 FOREST GREEN, BASIS OF DESIGN: ENGLERT UNILINE</p> <p> P-4 LOUVER MANUFACTURER FACTORY FINISH</p> <p> P-5 DOOR MANUFACTURER FACTORY FINISH</p>
--

<p>BUILDING ELEVATIONS GENERAL NOTES:</p> <p>A. PROJECT REFERENCE ELEVATION 0'-0" = N.A.V.D. REFER TO SURVEY AND CIVIL DRAWINGS</p> <p>B. REFER TO MATERIAL SCHEDULE ON SHEET A-630 FOR ADDITIONAL INFORMATION.</p> <p>C. SEE SHEET A-610 FOR LOUVERS DETAILS AND PARTIAL ELEVATIONS.</p> <p>D. SEE STRUCTURAL DRAWINGS FOR WIND PRESSURES FOR ALL EXTERIOR OPENINGS.</p>
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<p>BUILDING ELEVATIONS LEGEND:</p> <p>D DOOR TAG (SEE DOOR SCHEDULE)</p> <p>L LOUVER (SEE SCHEDULES)</p> <p>X-X EQUIPMENT / FINISH COLOR TAG</p>

<p>ELEVATIONS KEY NOTES</p> <p>1 EXPOSED CMU</p> <p>2 METAL WALL PANELS ON ENGINEERED STRUCTURAL FRAME. SEE MATERIAL SPECIFICATIONS.</p> <p>3 METAL ROOF PANELS ON ENGINEERED STRUCTURAL FRAME. SEE MATERIAL SPECIFICATIONS.</p> <p>4 PENDANT LIGHTING FIXTURE</p> <p>5 EYE WASH</p> <p>6 BOLLARD</p> <p>7 DOWNSPOUT</p> <p>8 4" JAMB GUARD</p> <p>9 WALL PACK LIGHT</p>

VNPB Golf Course Metal Building
951 US-1, North Palm Beach, FL 33408

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AA 72600065 WWW.CPZARCHITECTS.COM



DRAWING TITLE:

EXTERIOR ELEVATIONS

DRAWN: MZ
CHECKED: HR
DATE: 04/04/2025
SCALE: As Indicated
PROJECT NO. 2372A
SHEET:

A-202

NOT FOR CONSTRUCTION

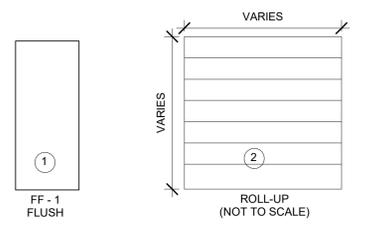
HEIDI RODRIGUEZ, A.I.A.
REGISTERED ARCHITECT NO. 102,411
STATE OF FLORIDA

DATE: 04/04/2025

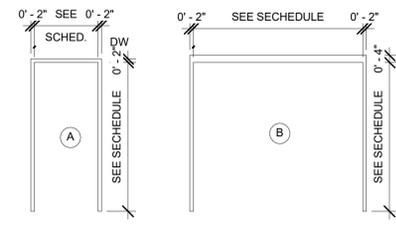
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LOUVER DETAIL NOTES:

1. FOR LOUVER TYPE SCHEDULE AND PLACEMENT, REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION AND SPECIFICATIONS.



LEGEND DOOR TYPES



LEGEND FRAME TYPES

NUMBER	LOCATION	TYPE	MATERIAL	SIZE			FINISH	RATING	HARDWARE	FRAME MATERIAL	FRAME FINISH	JAMB	HEAD	SILL	REMARKS
				W	H	THICKNESS									
102 A	ENCLOSED MIXLOAD & STORAGE	2	STL	15'-0"	10'-0"	3"	FF	---	2	TBD	B	8 / A-610	7 / A-610	9 / A-610	
102 B	ENCLOSED MIXLOAD & STORAGE	1	ALUM	3'-0"	7'-0"	1 3/4"	FF	---	1	HM	A	3 / A-610	1 / A-610	2 / A-610	
103 A	ENCLOSED STORAGE	2	STL	15'-0"	10'-0"	3"	FF	---	2	TBD	B	8 / A-610	7 / A-610	9 / A-610	
103 B	ENCLOSED STORAGE	1	ALUM	3'-0"	7'-0"	1 3/4"	FF	---	1	HM	A	3 / A-610	1 / A-610	2 / A-610	

HARDWARE SETS:

Hardware Group No. 1
For use on Door #(s): 102B, 103B
Provide each SGL door(s) with the following:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
3	HINGE	5BB1 4.5 X 4.5 NRP	630	IVE
1	PANIC HARDWARE	HH-99-L-NL-06-299F-SNB	626	VON
1	RIM CYLINDER	20-057 ICX	626	SCH
1	FSIC CORE	23-030	626	SCH
1	SURFACE CLOSER	4040XP CUSH	689	LCN
1	GASKETING	188SBK PSA	BK	ZER
1	DOOR SWEEP	39A	A	ZER
1	THRESHOLD	566A-223	A	ZER

HURRICANE COMPLIANT OPENING PER FL12400

Hardware Group No. 2
For use on Door #(s): 102A, 103A
Provide each OH door(s) with the following:
HARDWARE BY OVERHEAD DOOR MANUFACTURER

DOOR NOTES:

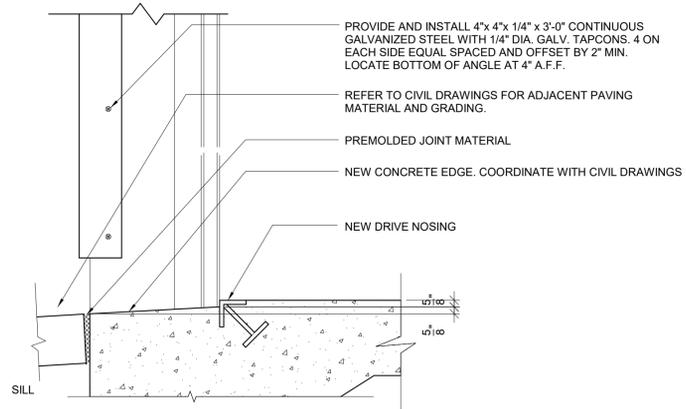
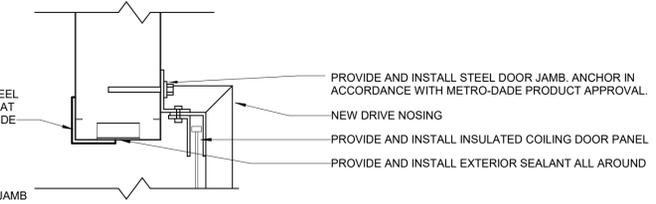
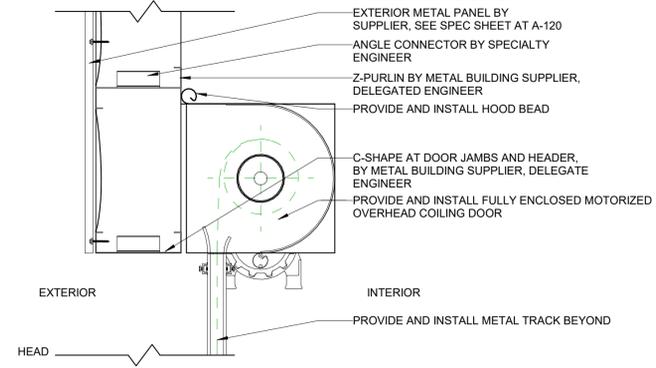
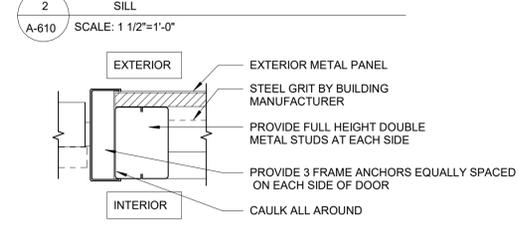
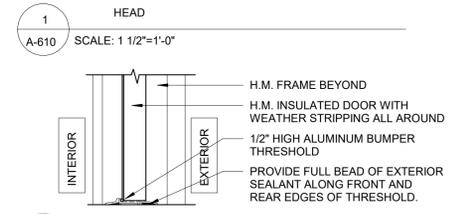
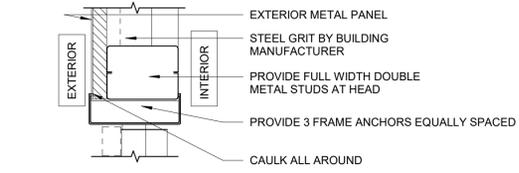
- WEATHER-STRIP ALL EXTERIOR DOORS.
- ALL EXTERIOR DOORS ARE TO BE IMPACT RESISTANT. CONTRACTOR SHALL SUBMIT EITHER STATE OF FLORIDA OR MIAMI-DADE COUNTY PRODUCT APPROVAL.
- ALL DOORS AND HARDWARE SHALL COMPLY WITH NFPA 101, SECTION 7.2.1.
- CONTRACTOR TO PROVIDE PRODUCT APPROVALS AT TIME OF PERMITTING. FOR ALL EXTERIOR DOORS FOR ARCHITECTS' REVIEW AND SUBMIT TO BUILDING DEPARTMENT. CONTRACTOR TO MARK SUBMITTALS CLEARLY TO IDENTIFY THE UNIT SIZE, ANCHOR TYPE AND SPACE FOR THE SPECIFIC UNIT APPLICABLE TO THIS PROJECT.
- ALL DOOR OPENINGS SHALL BE WATER PROOFED.
- ALL STAINLESS STEEL, HOLLOW METAL DOORS, FRAMES AND OVERHEAD COILING DOOR SHALL BE PAINTED CUSTOM COLOR AS SELECTED BY ARCHITECT.
- DOORS SHALL BE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE.
- FOR WIND PRESSURE DESIGN LOADS, SEE STRUCTURAL DRAWINGS.
- REFER TO THE LOCATION OF ALL DOOR OPENINGS TO COORDINATE DOOR HEIGHT AND FRAME WITH THE CONCRETE MASONRY COURSING AND METAL FRAME.

HARDWARE NOTES:

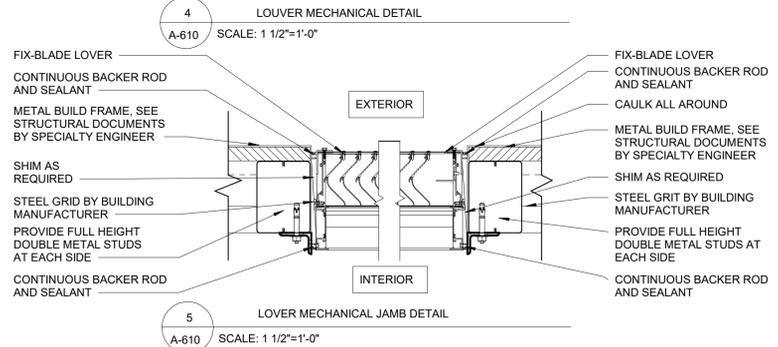
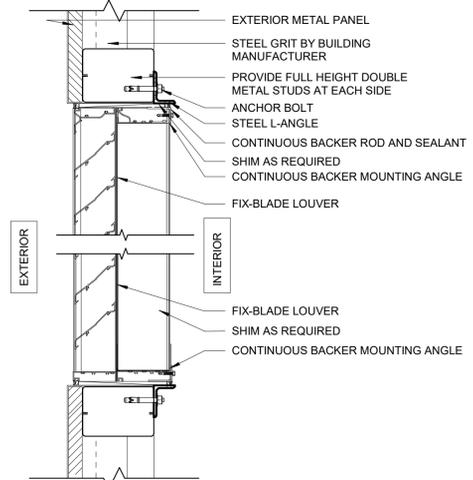
- CONTRACTOR SHALL COORDINATE ALL HARDWARE REQUIREMENTS WITH THE OWNER PRIOR TO ORDERING.
- ALL HINGES SHALL BE STAINLESS STEEL, BALL BEARING HINGES.
- ALL DOOR CLOSURES TO BE BY "LCN" COMMERCIAL GRADE, ADA CODE COMPLIANT AND EQUIPPED WITH HOLDER OPEN FEATURE.
- ALL DOORS AND FRAMES SHALL HAVE DOOR SILENCERS.
- ALL HARDWARE SHALL BE 7 PIN SCHALGE "D" SERIES WITH LEVER ADA COMPLIANT LEVER.
- ALL HARDWARE SHALL HAVE ADA COMPLIANT LEVERS AND MATCH BUILDING STANDARD.
- CONTRACTOR SHALL COORDINATE ALL HARDWARE WITH MIAMI-DADE COUNTY PRODUCT APPROVALS OF THE EXTERIOR DOOR AND FRAMES. PRODUCT APPROVALS SHALL INCLUDE HARDWARE MANUFACTURER SPECIFIED ABOVE.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER/ARCHITECT FOR REVIEW PRIOR TO ORDERING DOORS.

OVERHEAD COILING DOOR:

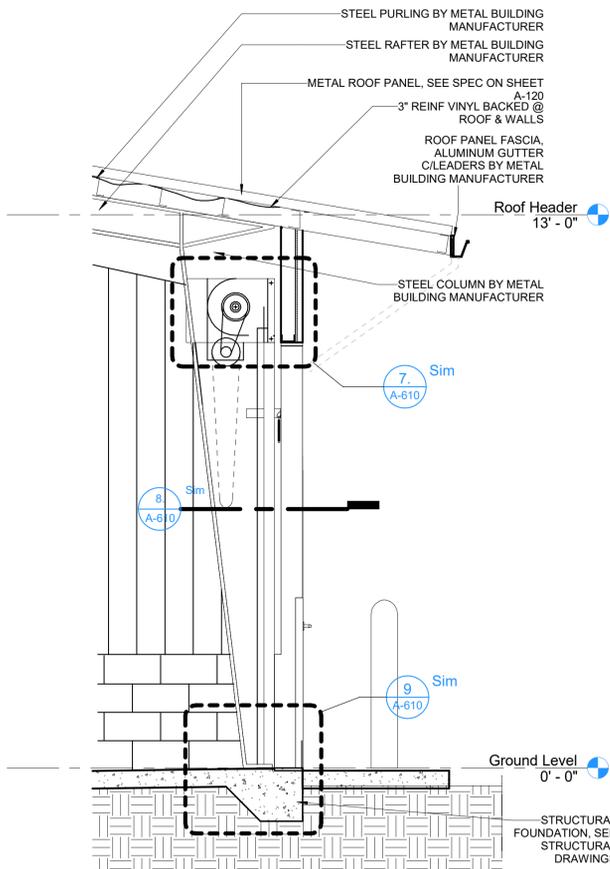
BASIS OF DESIGN PRODUCT: OVERHEAD DOOR COMPANY
MODEL 610
DIMENSIONS: SEE SCHEDULE
NOA: 20-1130.07



MAN DOOR HEADER/JAMB/SILL DETAILS



LOUVER MECHANICAL DETAIL



COIL TYPE GARAGE DOOR DETAIL

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NO.	REVISION	DATE
	BID SET	04/04/2025

CONSULTANT:

VNPB Golf Course Metal Building
951 US-1, North Palm Beach, FL 33408

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DRAWING TITLE:

DOOR SCHEDULE & DETAILS

DRAWN: MZ
CHECKED: HR
DATE: 04/04/2025
SCALE: As Indicated
PROJECT NO: 2372A
SHEET:

NOT FOR CONSTRUCTION

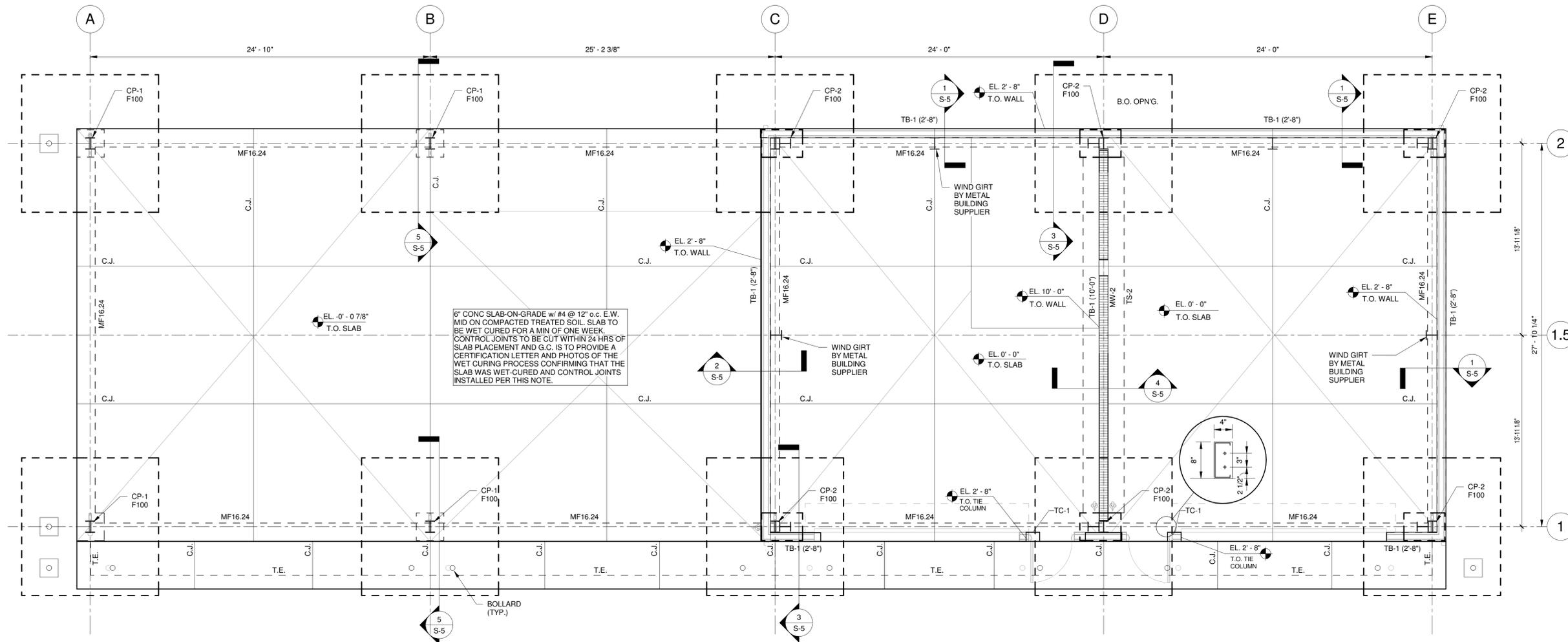
HEIDI RODRIGUEZ, A.I.A.
REGISTERED ARCHITECT NO. 102,411
STATE OF FLORIDA

DATE: 04/04/2025

A-610

NO.	REVISION	DATE
	BID SET	4/4/2025

CONSULTANT:

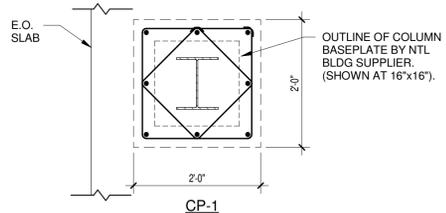


REACTIONS OF MTL BLDG IS ESTIMATED. FINAL REACTIONS AND ADJUSTMENTS OF FOUNDATIONS MAY BE REQUIRED.

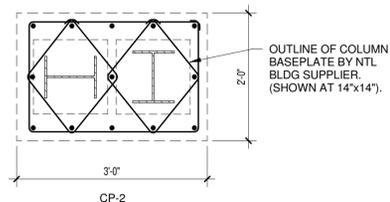
1 FOUNDATION PLAN
1/4" = 1'-0"

NOTES:

- TOP OF SLAB ELEVATION EL= 0'-0" IS X.X' NAVD. REFER TO CIVIL DRAWINGS FOR ADDITIONAL ELEVATION REFERENCE.
- ALL EXTERIOR LOW CMU WALLS SHALL BE MW-1 (U.N.O.)
- TC-1 INDICATES A 8"x12" CONCRETE COLUMN w/ (4)#5 VERTICAL & #3 TIES @ 8" o.c.
- CP-1 INDICATES 24" x 24" PIER WITHIN THICKENED EDGE w/ (8) #6 VERTICAL AND (3) #3 TIES.



- CP-2 INDICATES 36" x 24" PIER WITHIN THICKENED EDGE w/ (13) #6 VERTICAL AND (3) #3 TIES.



THESE ARE PROGRESS DRAWINGS. THEREFORE THEY ARE ISSUED PRIOR TO COMPLETION OF THE STRUCTURAL DESIGN, AND OTHER DESIGN DISCIPLINES, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL OR MECHANICAL DESIGN; AND AS SUCH, ARE INCOMPLETE BY NATURE FOR THE COMPREHENSIVE SCOPE OF THE PROJECT. ALLOWANCES FOR STRUCTURAL ELEMENTS REQUIRED DUE TO THE COMPLETION AND CROSS-COORDINATION OF ALL OTHER DISCIPLINES SHOULD BE MADE.

BID SET
04/04/2025

ONM&J
O'Donnell, Naccarato, Mignogna & Jackson
STRUCTURAL ENGINEERS

1655 PALM BEACH LAKES BLVD., SUITE 204
WEST PALM BEACH, FLORIDA 33411
(561) 835-9994 WWW.ONM&J.NET JOB # 583.004

TOLLIVER J. FRAZIER
P.E. FLORIDA
REG. #58011

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DRAWING TITLE:

FOUNDATION PLAN

DRAWN: Author
CHECKED: Checker
DATE: 4/4/2025
SCALE: As Indicated
PROJECT NO: 2372A
SHEET:

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